

LAKEPORT FARM

COMMERCIAL CANNABIS SITE PLAN

3681 BENMORE VALLEY ROAD

LAKEPORT, CA 95453

APN: 007-002-27

Project Information

|                   |                                                                                                                    |
|-------------------|--------------------------------------------------------------------------------------------------------------------|
| OWNER:            | PAUL BESTE<br>PO BOX 186<br>CLOVERDATLE, CA 95425<br>(707) 975-5901<br>PAULDEWBESTE@HOTMAIL.COM                    |
| LEASER/DEVELOPER: | RICARDO DE MELLO<br>1400 BARTON ROAD #1406<br>REDLANDS, CA 92373<br>(323) 300-0019<br>RICARDOHOPLANDFARM@YAHOO.COM |
| CONSULTANT:       | KYLE GEITNER, PRINCIPAL CONSULTANT<br>P.O. BOX 2520<br>PETALUMA, CA 94953<br>(707) 293-4224                        |
| PROJECT ADDRESS:  | 3681 BENMORE VALLEY ROAD<br>LAKEPORT, CA 95453                                                                     |
| LAND USE:         | RL (RANGELAND)                                                                                                     |
| PARCEL AREA:      | 63.03                                                                                                              |

Purpose

THE PURPOSE OF THIS PLAN SET IS TO PROVIDE SUPPORT IN OBTAINING A COMMERCIAL CANNABIS USE PERMIT FOR 1 ACRE OF OUTDOOR CANNABIS CULTIVATION AND 1 ACRE OF MIXED LIGHT CANNABIS CULTIVATION IN THE COUNTY OF LAKE. THE PROJECT INTENDS TO EARLY ACTIVATE 2 ACRES OF OUTDOOR CANNABIS CULTIVATION.

Flood Hazard Zone Information

|                             |                |
|-----------------------------|----------------|
| FIRM DESIGNATED FLOOD ZONE: | D              |
| BASE FLOOD ELEVATION:       | NA             |
| CULTIVATION AREA ELEVATION: | 2850-2775 FEET |
| FLOOD PROOFING REQUIRED?    | NO             |

Linetype Legend

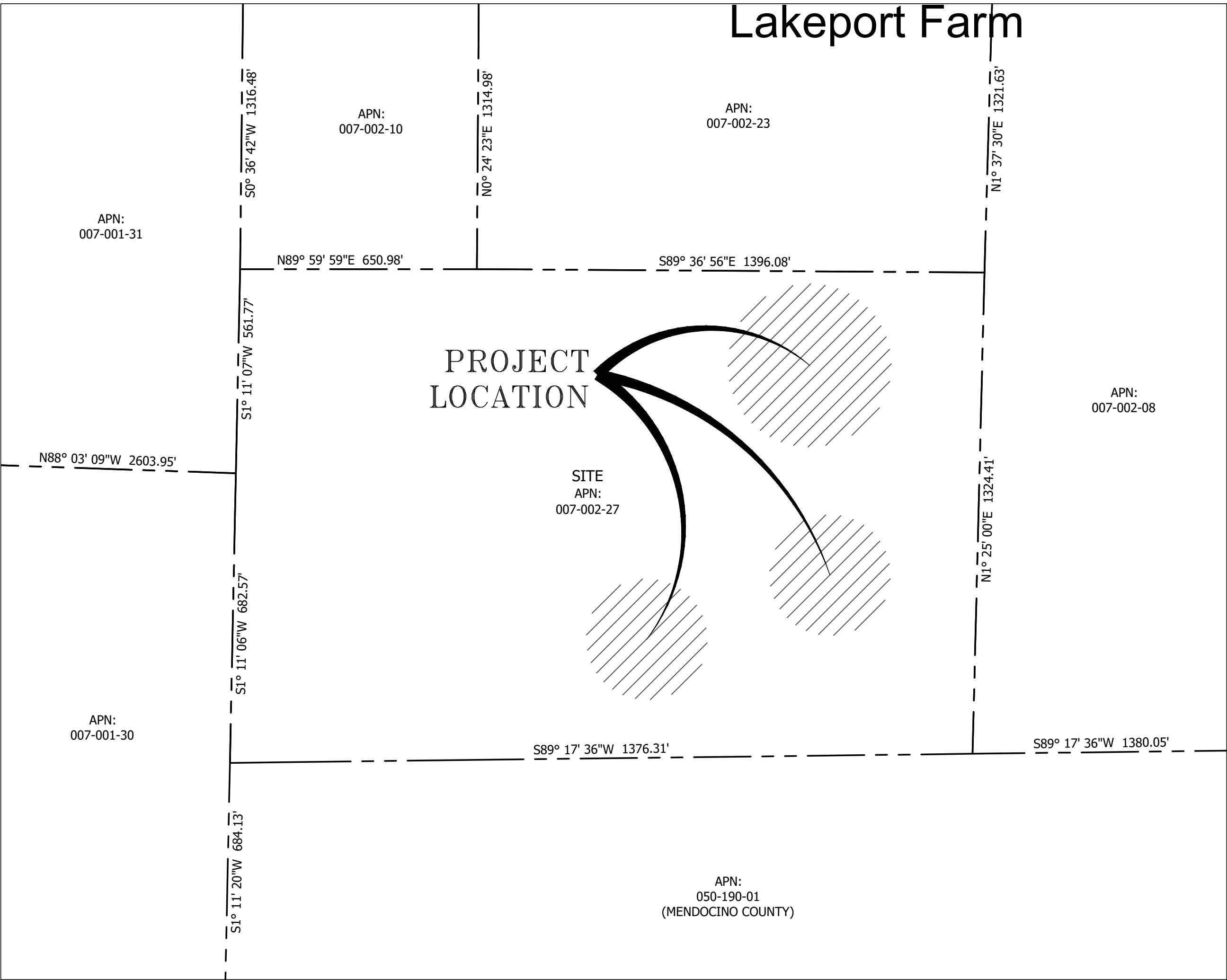
| EXISTING | PROPOSED | DEFINITION              |
|----------|----------|-------------------------|
|          |          | FENCE                   |
|          |          | DRAINAGE PIPE           |
|          |          | PROPERTY LINE           |
|          |          | WATERCOURSE             |
|          |          | ELECTRICAL UTILITY LINE |
|          |          | WATER LINE              |
|          |          | SANITARY SEWER          |
|          |          | FIBER ROLL              |
|          |          | TREE TO BE REMOVED      |

Sheet Index

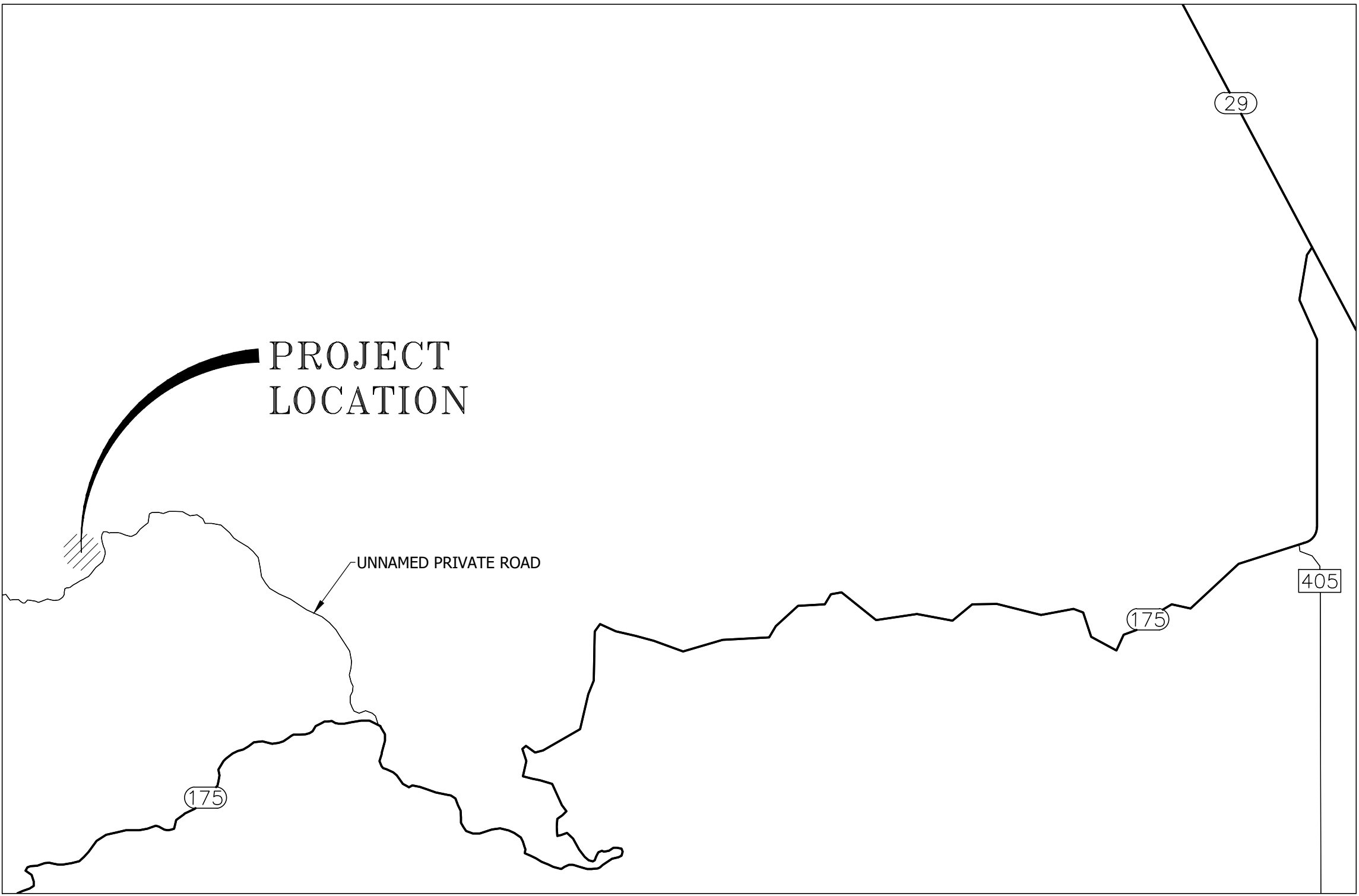
|     |                                           |
|-----|-------------------------------------------|
| 1.0 | COVER SHEET                               |
| 2.0 | SURROUNDING AREA AERIAL                   |
| 3.0 | EXISTING CONDITIONS                       |
| 4.0 | PROPOSED CONDITIONS                       |
| 5.0 | DRIVEWAY PROFILES                         |
| 6.0 | EARLY ACTIVATED CANNABIS CULTIVATION SITE |
| 7.0 | CANNABIS CULTIVATION SITE                 |
| 8.0 | CANNABIS RELATED BUILDING LAYOUTS         |
| 9.0 | SECURITY PLAN                             |

Abbreviations

|        |                          |     |                |
|--------|--------------------------|-----|----------------|
| AC     | ASPHALT CONCRETE         | FL  | FLOW LINE      |
| APN    | ASSESSOR'S PARCEL NUMBER | GH  | GREENHOUSE     |
| APPROX | APPROXIMATE              | HH  | HOOPHOUSE      |
| C L    | CENTERLINE               | INV | INVERT         |
| CONC   | CONCRETE                 | LF  | LINEAR FEET    |
| CY     | CUBIC YARD               | MAX | MAXIMUM        |
| DIA    | DIAMETER                 | MIN | MINIMUM        |
| EG     | EXISTING GROUND          | NA  | NOT APPLICABLE |
| ELEV   | ELEVATION                | NTS | NOT TO SCALE   |
| EP     | EDGE OF PAVEMENT         | PL  | PROPERTY LINE  |
| EX     | EXISTING                 | s   | SLOPE          |



Parcel Exhibit  
NTS



Location Map  
NTS

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P.O. BOX 2520  
PETALUMA, CA 94953

- NOTES:
- PROPERTY LINES, EASEMENTS, AND TOPOGRAPHIC INFORMATION IS APPROXIMATE AND OBTAINED FROM PUBLICLY AVAILABLE INFORMATION.
  - THERE ARE NO PUBLIC OR PRIVATE SCHOOLS FOR GRADES 1 THROUGH 12, DEVELOPED PARK CONTAINING PLAYGROUND EQUIPMENT, DRUG OR ALCOHOL REHABILITATION FACILITY, LICENSED CHILD CARE FACILITY OR NURSERY SCHOOL, OR CHURCH OR YOUTH-ORIENTED FACILITY CATERING TO OR PROVIDING SERVICES PRIMARILY INTENDED FOR MINORS WITHIN 1,250 FEET OF THE PROPERTY.
  - FOR PARCEL BOUNDARIES, ADJACENT PARCEL BOUNDARIES, AND LOCATION MAP SEE THIS SHEET.
  - BASED ON PUBLICLY AVAILABLE DATA THERE ARE NO FAULT ZONES ON THE SUBJECT PROPERTY.
  - PROJECT PARCEL SHALL ADHERE TO THE STATE OF CALIFORNIA PUBLIC RESOURCE CODE, DIVISION 4 AND ALL SECTIONS IN 4290 AND 4291 (4001-4958) REQUIREMENTS, CAL FIRE ROAD STANDARDS SHALL REFLECT THE MOST CURRENT REGULATIONS (JANUARY 3, 2020).
  - ALL ROADWAY SLOPES SHOWN WITHIN THIS PLAN SET ARE LESS THAN 16%. ROADWAY SLOPES EXCEEDING 16% ARE NOT ALLOWED BY GOVERNING JURISDICTION AND ALL FUTURE ROAD IMPROVEMENTS ON-SITE SHALL COMPLY.
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  - THESE DRAWINGS ARE FOR PLANNING PURPOSES ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION.

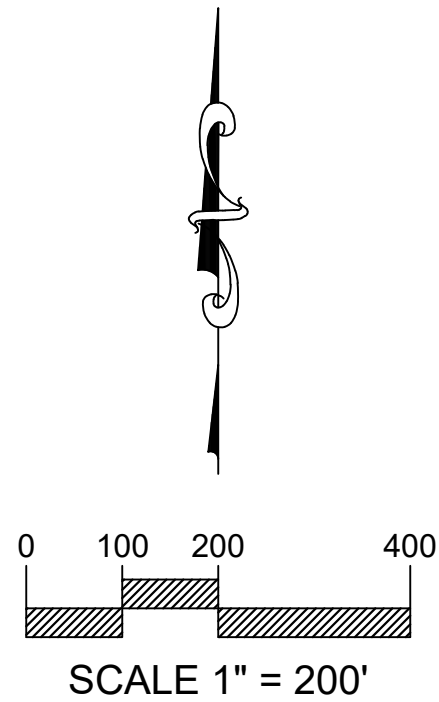
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|           |           |          |          |
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| DATE:     | 5/18/2020 | DRAWN:   | ANR      |
| JOB #:    | 20-033    | SCALE:   | AS SHOWN |
| REVISION: |           | CHECKED: | KJG      |

|              |               |
|--------------|---------------|
| SHEET TITLE: | COVER SHEET   |
| SHEET:       | 1.0<br>1 OF 9 |

\*THIS DRAWING WAS REVIEWED AND APPROVED BY MATHEW KLEIN PE#79674

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**CONSULTANT:**

KYLE GEITNER,  
PRINCIPAL CONSULTANT

**DATE:**

5/18/2020

**DRAWN:**

ANR

**JOB #:**

20-033

**SCALE:**

AS SHOWN

**REVISION:**

**CHECKED:**

KJG

**SHEET TITLE:**

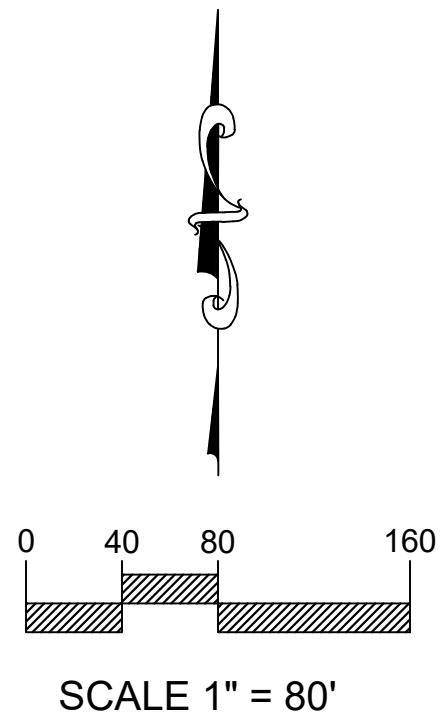
SURROUNDING AREA AERIAL

**SHEET:**

2.0

2 OF 9

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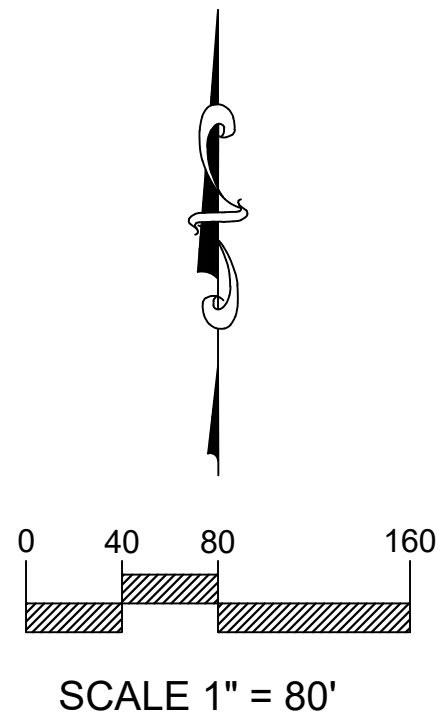
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| REVISION:                                                          | CHECKED:<br>KJG                       |
| SHEET TITLE:<br>EXISTING CONDITIONS                                |                                       |
| SHEET:<br>3 OF 9                                                   |                                       |

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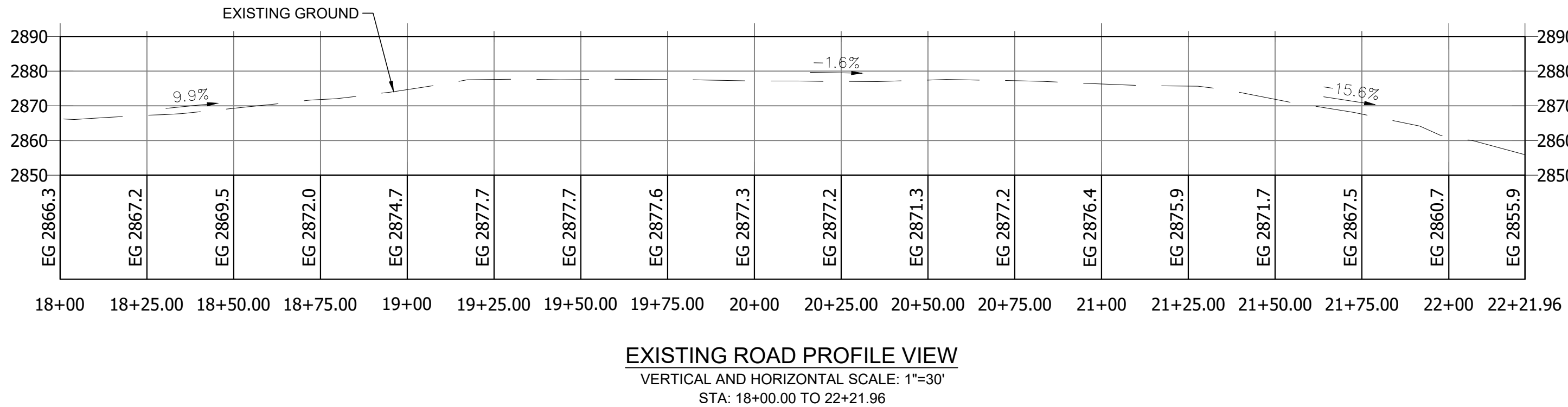
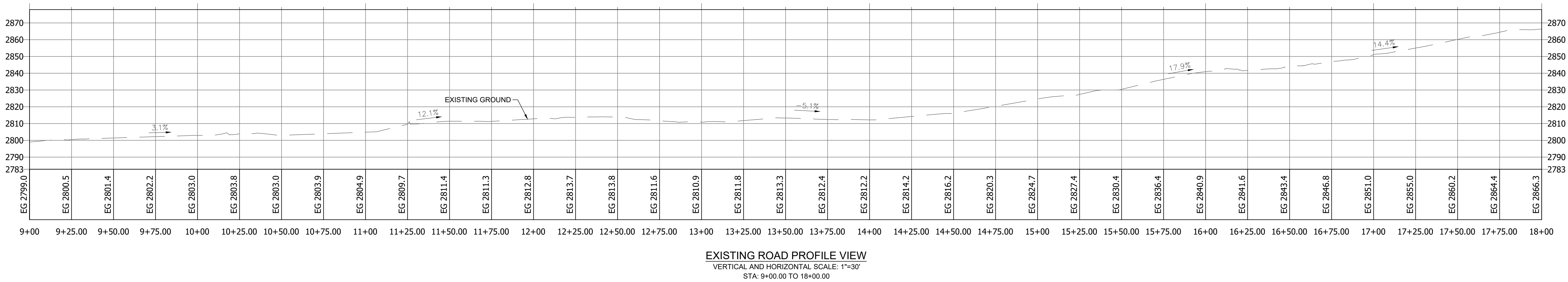
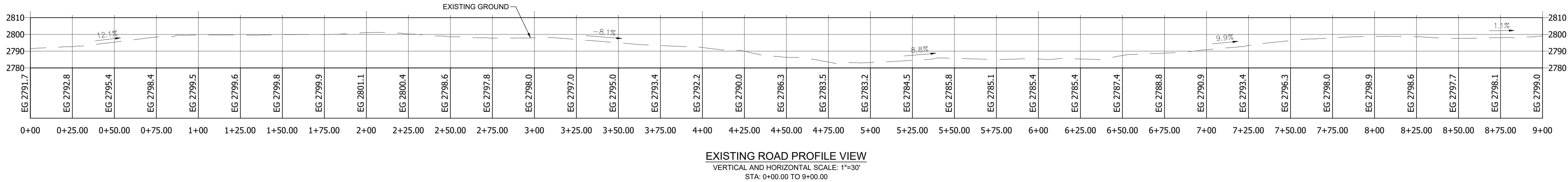


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| <b>REVISION:</b>                                                          | <b>CHECKED:</b><br>KJG                |
| <b>SHEET TITLE:</b><br>PROPOSED CONDITIONS                                |                                       |
| <b>SHEET:</b><br>4.0                                                      | <b>4 OF 9</b>                         |

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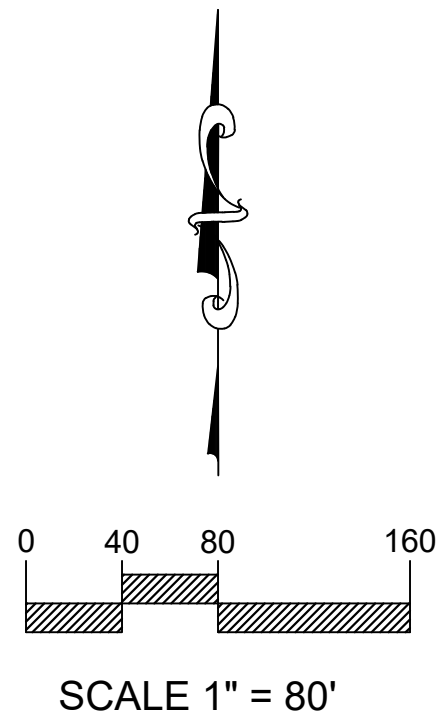
PROFILES

SHEET:

5.0  
5 OF 9



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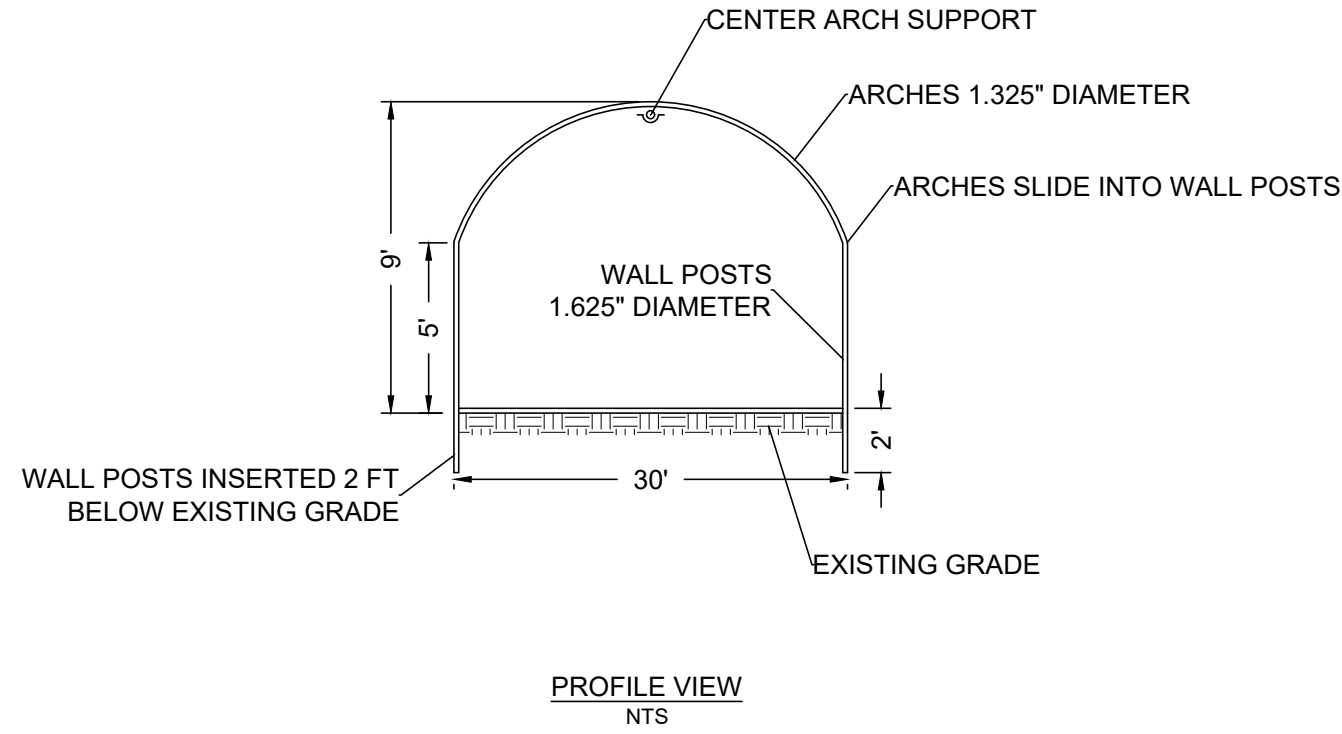
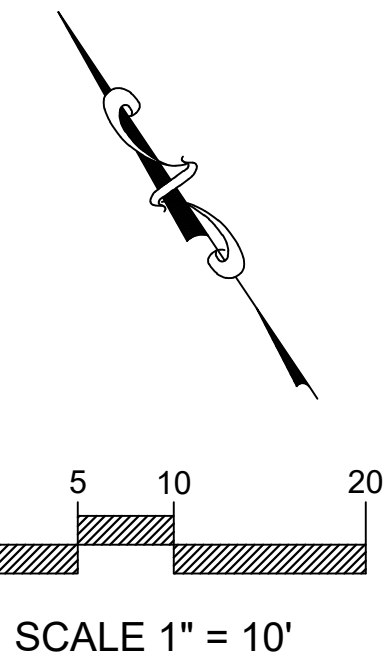
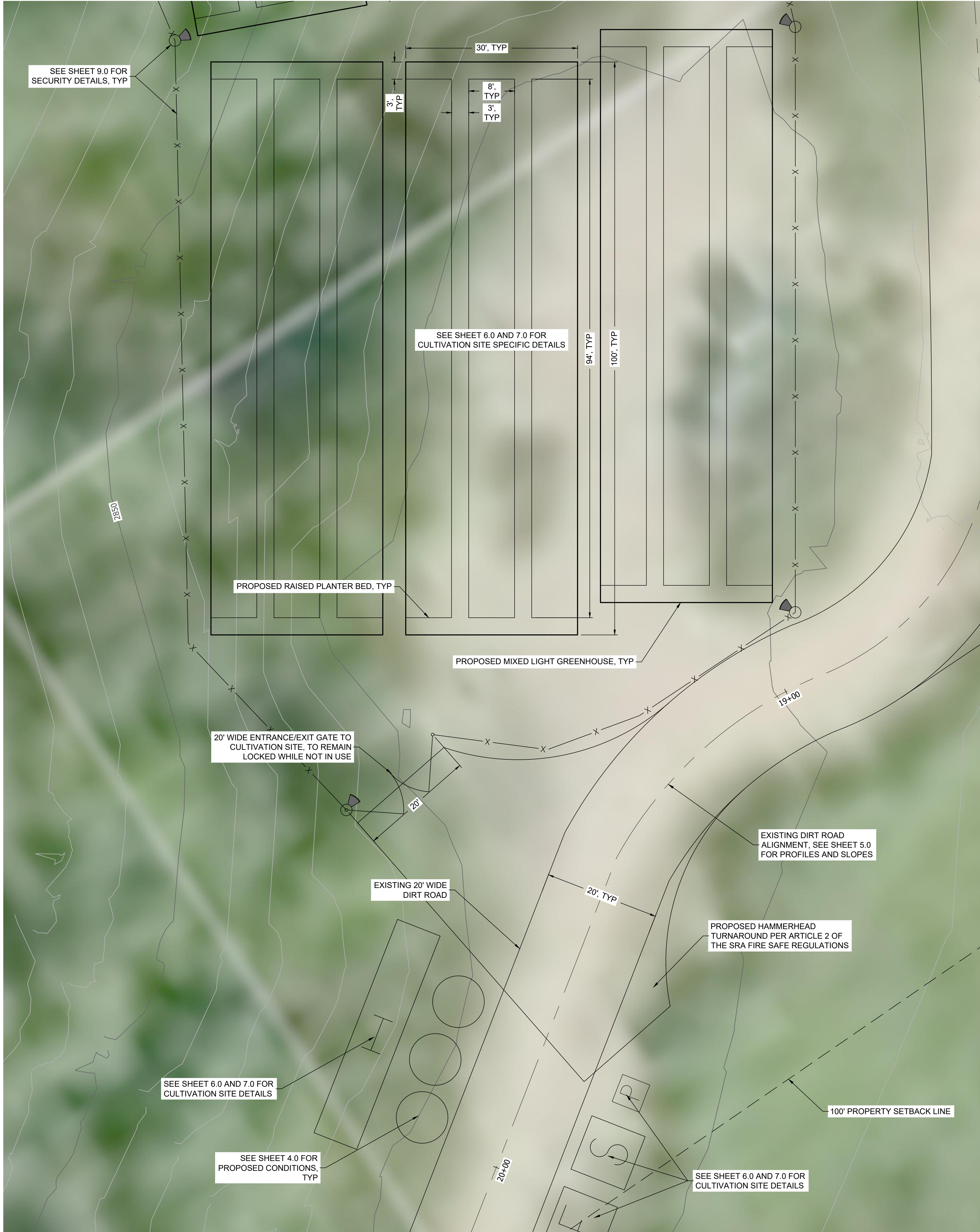
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|                    |                    |
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| REVISION:          | CHECKED:<br>KJG    |

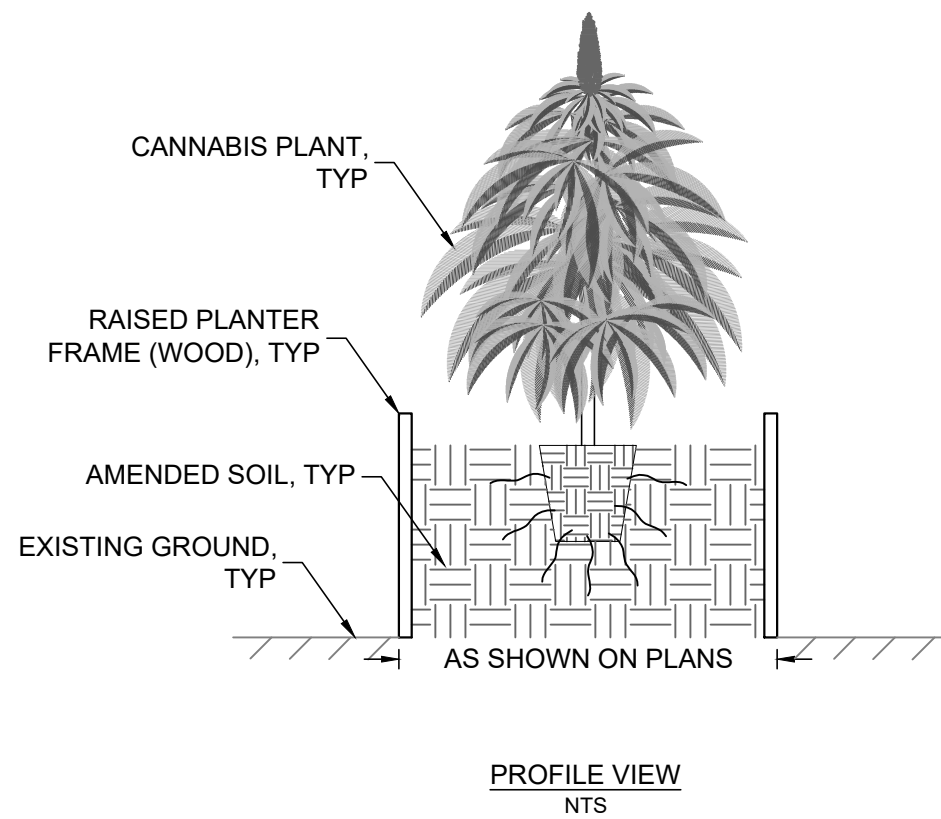
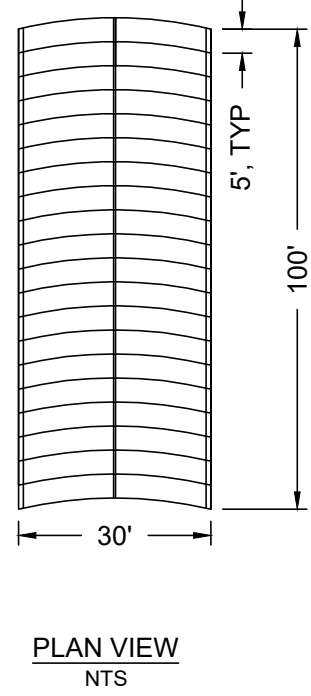
SHEET TITLE:  
CULTIVATION SITE

SHEET:  
7.0  
7 OF 9

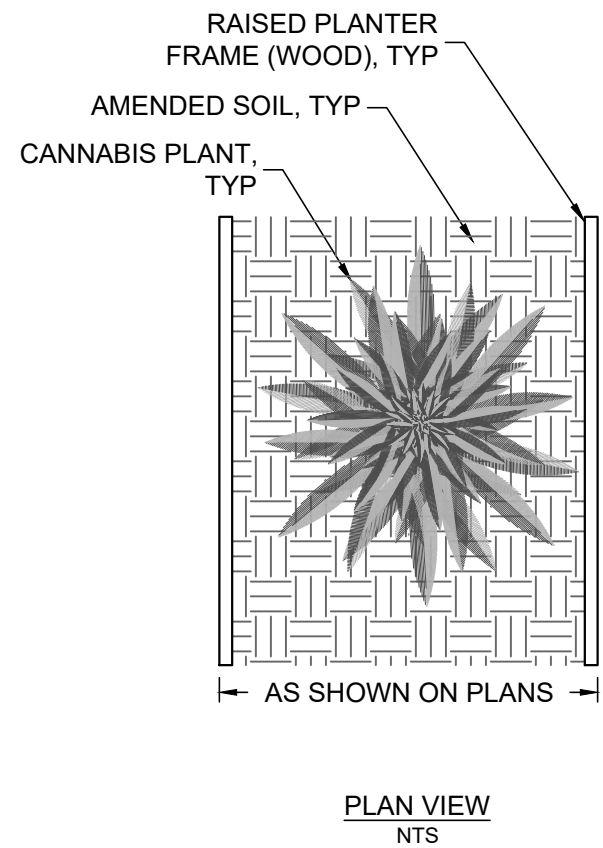
5/24/2023 1:14 PM Plotted by: arahn C:\Users\arahn\NorthBay\_Canna Consulting\Kyle Geitner - NorthBay\_Canna Consulting\Clients\20-033 - 3681 Benmore Valley Road - Ricardo De Mello\CAD\Planning\20-033 Overall Site Plan.dwg



GREENHOUSE DETAIL  
NTS



RAISED PLANTER DETAIL  
NTS



- NOTES:**
1. PROPERTY LINES, EASEMENTS, AND TOPOGRAPHIC INFORMATION IS APPROXIMATE AND OBTAINED FROM PUBLICLY AVAILABLE INFORMATION.
  2. THERE ARE NO PUBLIC OR PRIVATE SCHOOLS FOR GRADES 1 THROUGH 12, DEVELOPED PARK CONTAINING PLAYGROUND EQUIPMENT, DRUG OR ALCOHOL REHABILITATION FACILITY, LICENSED CHILD CARE FACILITY OR NURSERY SCHOOL, OR CHURCH OR YOUTH-ORIENTED FACILITY CATERING TO OR PROVIDING SERVICES PRIMARILY INTENDED FOR MINORS WITHIN 1,250 FEET OF THE PROPERTY.
  3. FOR PARCEL BOUNDARIES, ADJACENT PARCEL BOUNDARIES, AND LOCATION MAP SEE SHEET 1.0.
  4. WATERCOURSE LINETYPE THICKNESS TO DELINEATE THE TOP OF BANK.
  5. BASED ON PUBLICLY AVAILABLE DATA THERE ARE NO FAULT ZONES ON THE SUBJECT PROPERTY.
  6. ALL ROADWAY SLOPES SHOWN WITHIN THIS PLAN SET ARE LESS THAN 16%. ROADWAY SLOPES EXCEEDING 16% ARE NOT ALLOWED BY GOVERNING JURISDICTION AND ALL FUTURE ROAD IMPROVEMENTS ONSITE SHALL COMPLY.
  7. ALL PROPOSED WATER TANKS INTENDED FOR FIRE SUPPRESSION WATER STORAGE SHALL BE STEEL OR FIBERGLASS. ANY EXISTING WATER TANKS INTENDED FOR FIRE SUPPRESSION WATER STORAGE THAT CONSIST OF MATERIAL OTHER THAN STEEL OR FIBERGLASS SHALL BE REPLACED WITH A STEEL OR FIBERGLASS TANK.
  8. STRAW WATTLES SHALL BE PLACED AROUND CULTIVATION AREAS TO PREVENT STORMWATER RUNOFF.
  9. THE ENTIRE CULTIVATION SITE SHALL BE SEEDED TO STABILIZE THE SOIL.
  10. EXISTING ACCESS GATE SHALL BE RELOCATED TO BE AT LEAST 30' FROM THE ROADWAY UNLESS THE CURRENT ACCESS GATE LOCATION IS AT LEAST 30' FROM THE ROADWAY. EXISTING ACCESS GATE SHALL BE REPLACED WITH A NEW GATE THAT HAS A MINIMUM WIDTH OF 14' UNLESS THE EXISTING ACCESS GATE HAS A MINIMUM 14' WIDE UNOBSTRUCTED OPENING.

|                                                                    |                                       |
|--------------------------------------------------------------------|---------------------------------------|
| PROJECT ADDRESS:<br>3681 BENMORE VALLEY ROAD<br>LAKEPORT, CA 95453 |                                       |
| APN:                                                               | 007-002-27                            |
| CLIENT:                                                            | RICARDO DE MELLO                      |
| CONSULTANT:                                                        | KYLE GEITNER,<br>PRINCIPAL CONSULTANT |

|                    |                    |
|--------------------|--------------------|
| DATE:<br>5/18/2020 | DRAWN:<br>ANR      |
| JOB #:<br>20-033   | SCALE:<br>AS SHOWN |
| REVISION:          | CHECKED:<br>KJG    |

|                                                     |               |
|-----------------------------------------------------|---------------|
| SHEET TITLE:<br>CANNABIS RELATED<br>BUILDING LAYOUT |               |
| SHEET:                                              | 8.0<br>8 OF 9 |

**NORTH BAY**

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