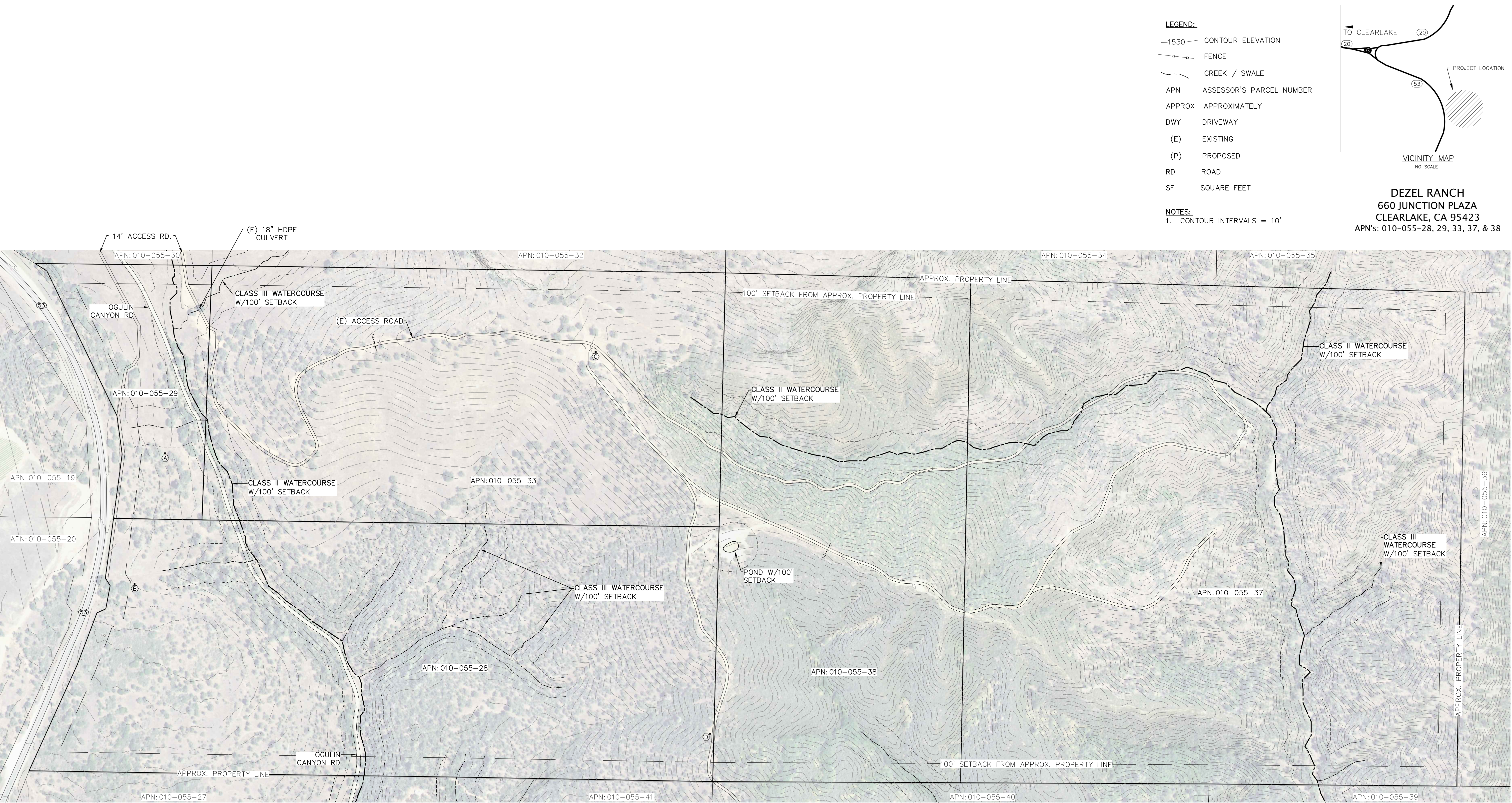
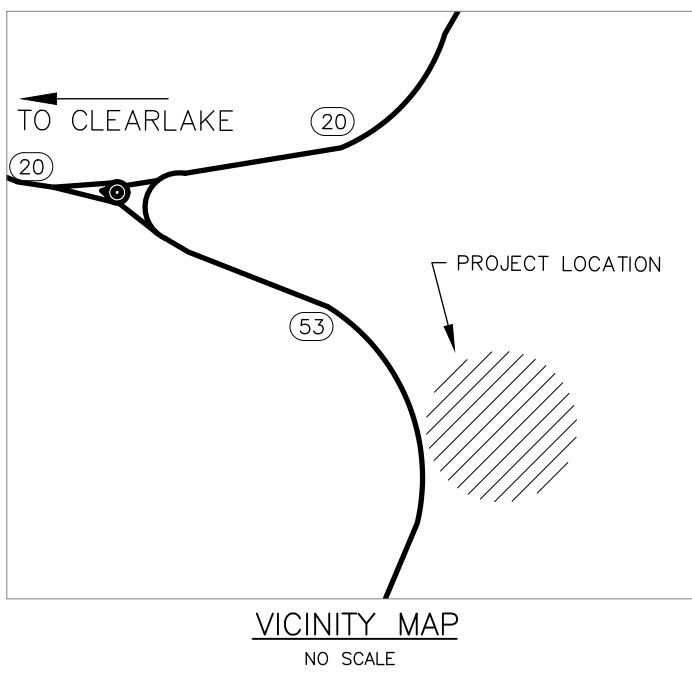




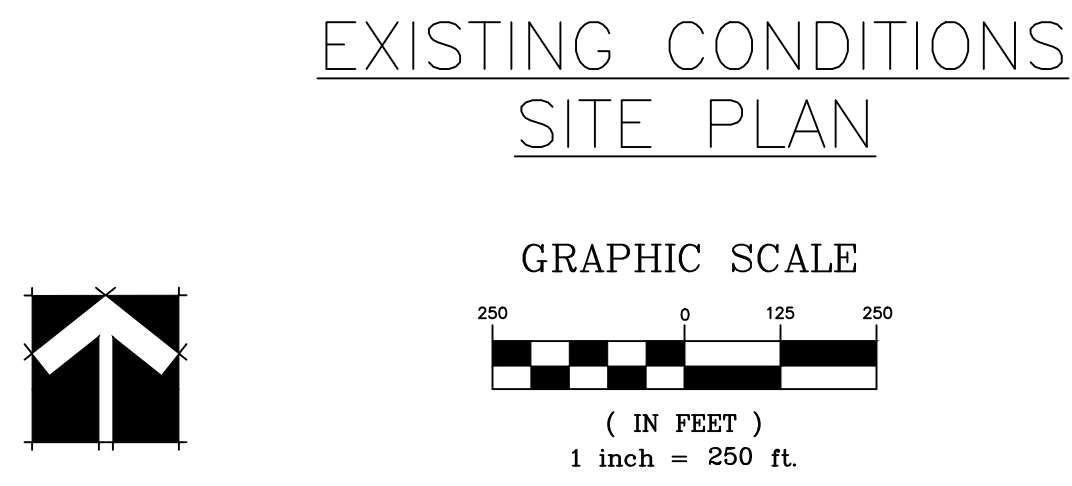
- LEGEND:**
- 1530— CONTOUR ELEVATION
 - FENCE
 - / — CREEK / SWALE
 - APN ASSESSOR'S PARCEL NUMBER
 - APPROX APPROXIMATELY
 - DWY DRIVEWAY
 - (E) EXISTING
 - (P) PROPOSED
 - RD ROAD
 - SF SQUARE FEET

NOTES:
1. CONTOUR INTERVALS = 10'



DEZEL RANCH
660 JUNCTION PLAZA
CLEARLAKE, CA 95423
APN's: 010-055-28, 29, 33, 37, & 38

- (E) GROUNDWATER WELL
LAT: 39.002447°
LONG: -122.603713°
BENEFICIAL USES: XX
- (E) GROUNDWATER WELL
LAT: 39.000588°
LONG: -122.604261°
BENEFICIAL USES: XX
- (E) GROUNDWATER WELL
LAT: 39.003929°
LONG: -122.595859°
BENEFICIAL USES: XX
- (E) GROUNDWATER WELL
LAT: 38.998653°
LONG: -122.593546°
BENEFICIAL USES: XX



Revisions:

REALM ENGINEERING

CIVIL ENGINEERING, SURVEYING & PLANNING

1767 MARKET STREET SUITE C

REDDING, CA. 96001

530-526-7493

PLANS PREPARED UNDER THE SUPERVISION OF:

REGISTERED PROFESSIONAL ENGINEER

JOHN B. VINE

No. 67800

EXP 06/30/23

CIVIL

STATE OF CALIFORNIA

EXISTING CONDITIONS SITE PLAN

DEZEL RANCH

660 JUNCTION PLAZA

CLEARLAKE, CA 95423

U.S.E. 010-055-28, 29, 33, 37, & 38

APN's: 010-055-28, 29, 33, 37, & 38

PLOTTED BY:

DATE PLOTTED:

9/09/21

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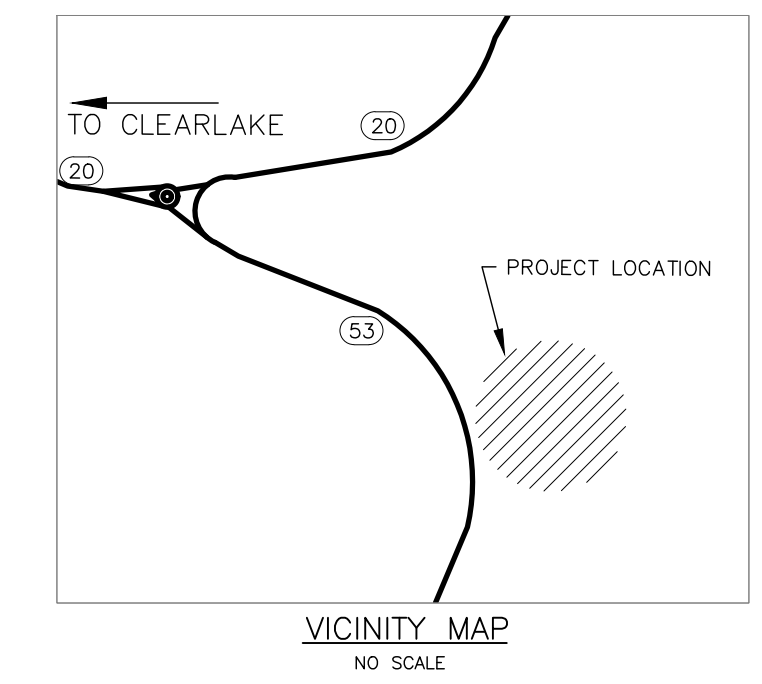
SEE PLAN

JOB NUMBER:

ADD FILE:

SHEET:

E1



LEGEND:

	CONTOUR ELEVATION
	FENCE
	CREEK / SWALE
APN	ASSESSOR'S PARCEL NUMBER
APPROX	APPROXIMATELY
DWY	DRIVEWAY
(E)	EXISTING
(P)	PROPOSED
RD	ROAD
SF	SQUARE FEET

(E) GROUNDWATER WELL
LAT: 39.002447"
LONG: -122.603713"
BENEFICIAL USES: IRRIGATION

(E) GROUNDWATER WELL
LAT: 39.000588"
LONG: -122.604261"
BENEFICIAL USES: IRRIGATION

(E) GROUNDWATER WELL
LAT: 39.003923"
LONG: -122.598589"
BENEFICIAL USES: IRRIGATION

(E) GROUNDWATER WELL
LAT: 38.998653"
LONG: -122.591546"
BENEFICIAL USES: IRRIGATION

(E) 348,480 SF OUTDOOR
CULTIVATION/CANOPY AREA

(P) 60'x100' PROCESSING BUILDING

(E) TEN - 30'x100' (3,000 SQ FT)
GREENHOUSES

(P) TWELVE- 6'x100' (828 SQ.FT)
MIXED-LIGHT CANOPY AREAS (LOW HOOPS)

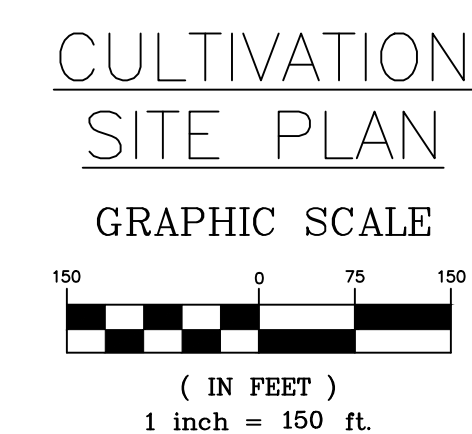
(P) 120 SQ.FT. SECURITY SHED

(P) 120 SQ.FT. PESTICIDES &
AGRICULTURAL CHEMICAL STORAGE

(P) 5,000 GALLON METAL FIRE WATER
TANKS

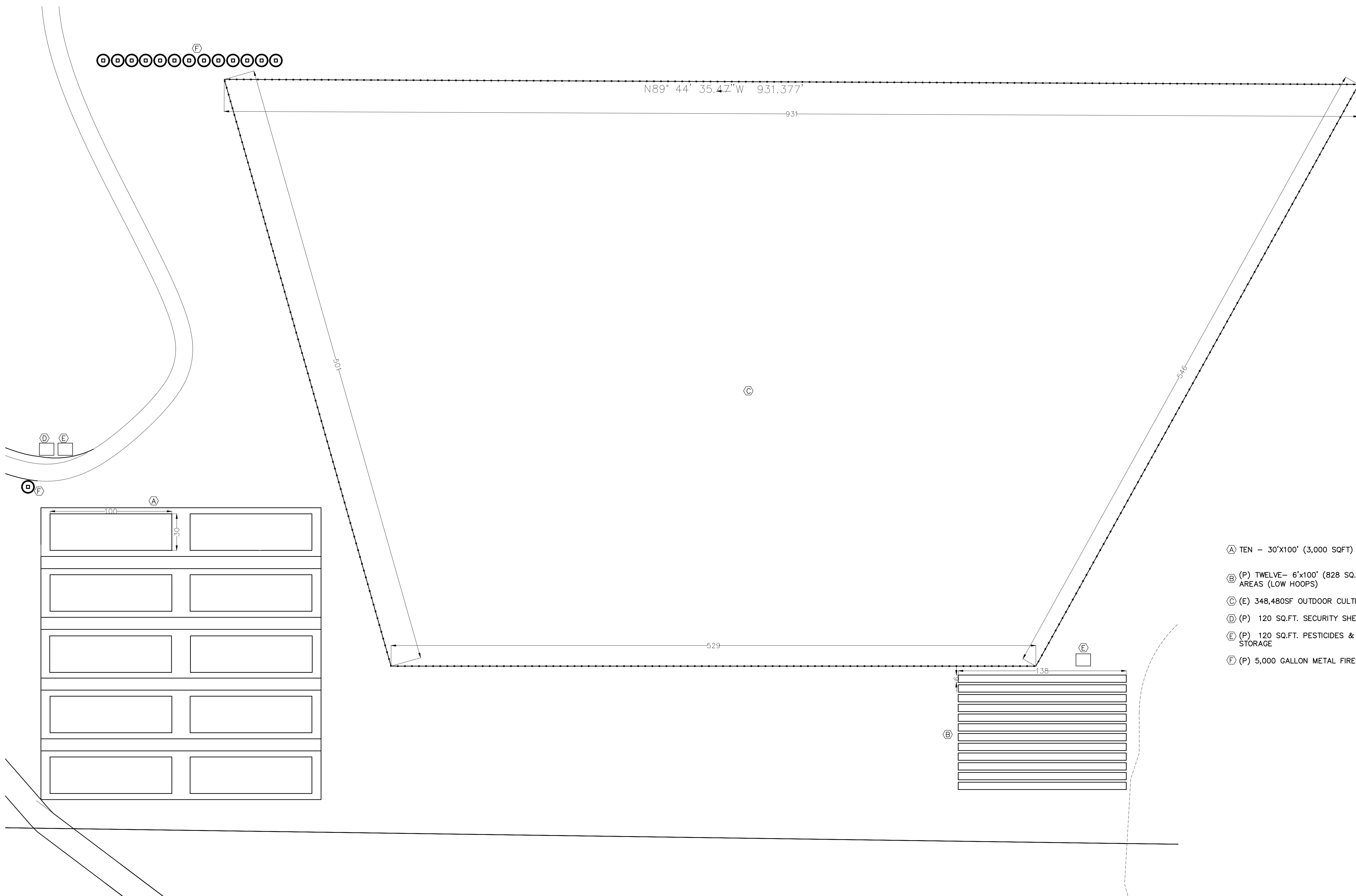
(P) PARKING STALLS. 1 A.D.A AND 7
NORMAL SPOTS

(P) 25,000 GALLON METAL FIRE WATER
TANKS



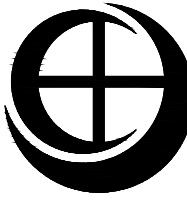
Revisions:	

 REALM ENGINEERING CIVIL ENGINEERING, SURVEYING & PLANNING 1767 MARKET STREET SUITE C REDDING, CA. 96001 530-526-7493	
PLANS PREPARED UNDER THE SUPERVISION OF:	
REGISTERED PROFESSIONAL ENGINEER JOSEPH B. VIOLE No. 67800 EXP06/30/23 CIVIL STATE OF CALIFORNIA	
CULTIVATION SITE WITH CANOPY DEZEL RANCH 660 JUNCTION PLAZA CLEARLAKE, CA 95432 LAKE COUNTY APN'S: 010-055-28, 29, 33, 37, & 38	
PLOTTED BY:	---
DATE PLOTTED:	10/03/2022
SCALE OF DRAWING:	SEE PLAN
JOB NUMBER:	
CADD FILE:	
SHEET:	
A2.0	



- (A) TEN - 30'X100' (3,000 SQFT) GREENHOUSES
- (B) (P) TWELVE- 6'X100' (828 SQ.FT) MIXED-LIGHT CANOPY AREAS (LOW HOOPS)
- (C) (E) 348,480SF OUTDOOR CULTIVATION/CANOPY AREA
- (D) (P) 120 SQ.FT. SECURITY SHED
- (E) (P) 120 SQ.FT. PESTICIDES & AGRICULTURAL CHEMICAL STORAGE
- (F) (P) 5,000 GALLON METAL FIRE WATER TANKS

Revisions:

**REALM ENGINEERING**
CIVIL ENGINEERING, SURVEYING & PLANNING
1767 MARKET STREET SUITE C
REDDING, CA. 96001
530-526-7493

PLANS PREPARED UNDER
THE SUPERVISION OF:

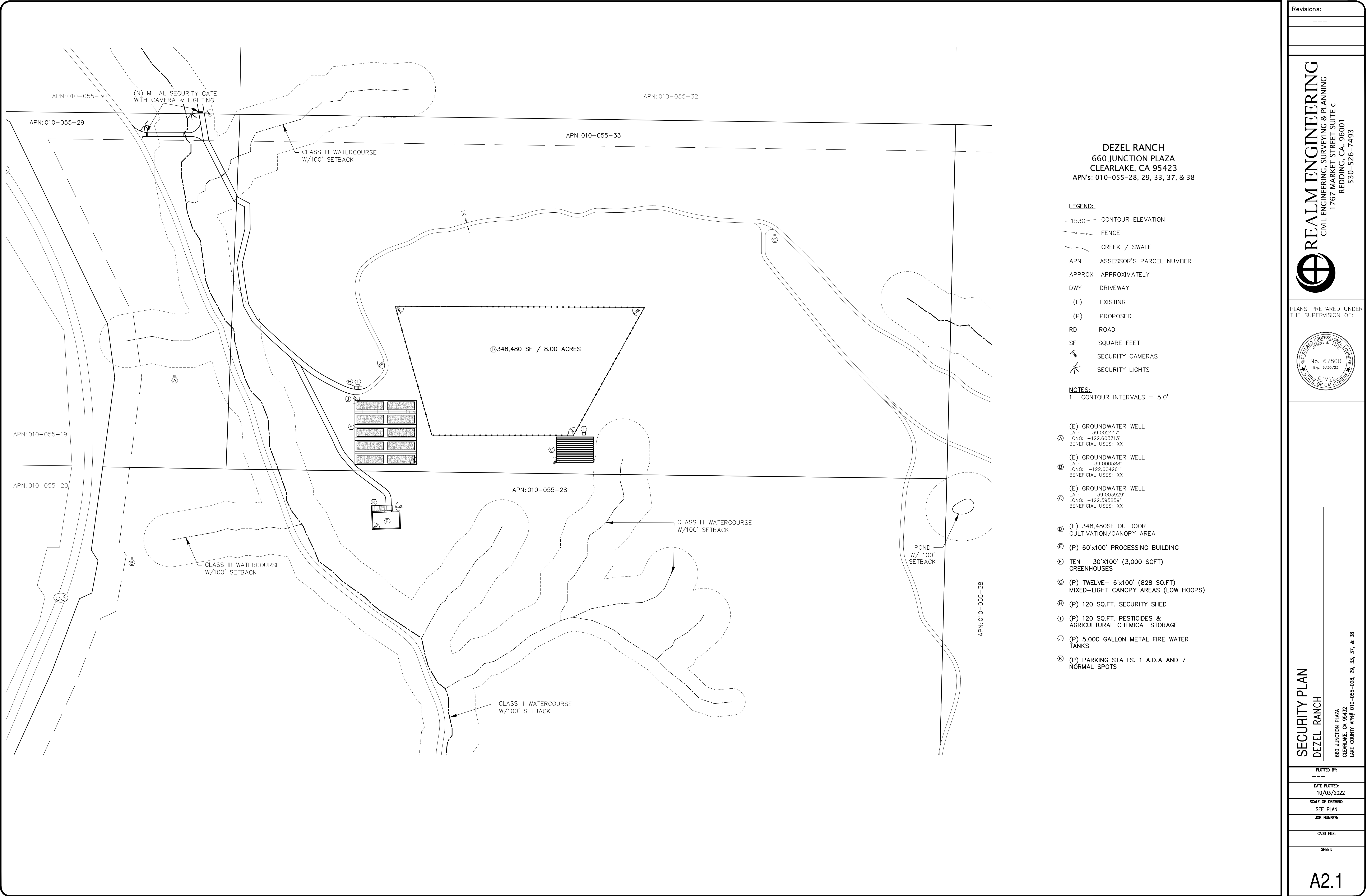

PROPOSED CANOPY SITE PLAN
DEZEL RANCH
660 JUNCTION PLAZA
CLEARLAKE, CA 95432
LAKE COUNTY
APNS: 010-055-28, 29, 33, 37, & 38

PLOTTED BY:

DATE PLOTTED:
10/03/2022
SCALE OF DRAWING:
SEE PLAN
JOB NUMBER:

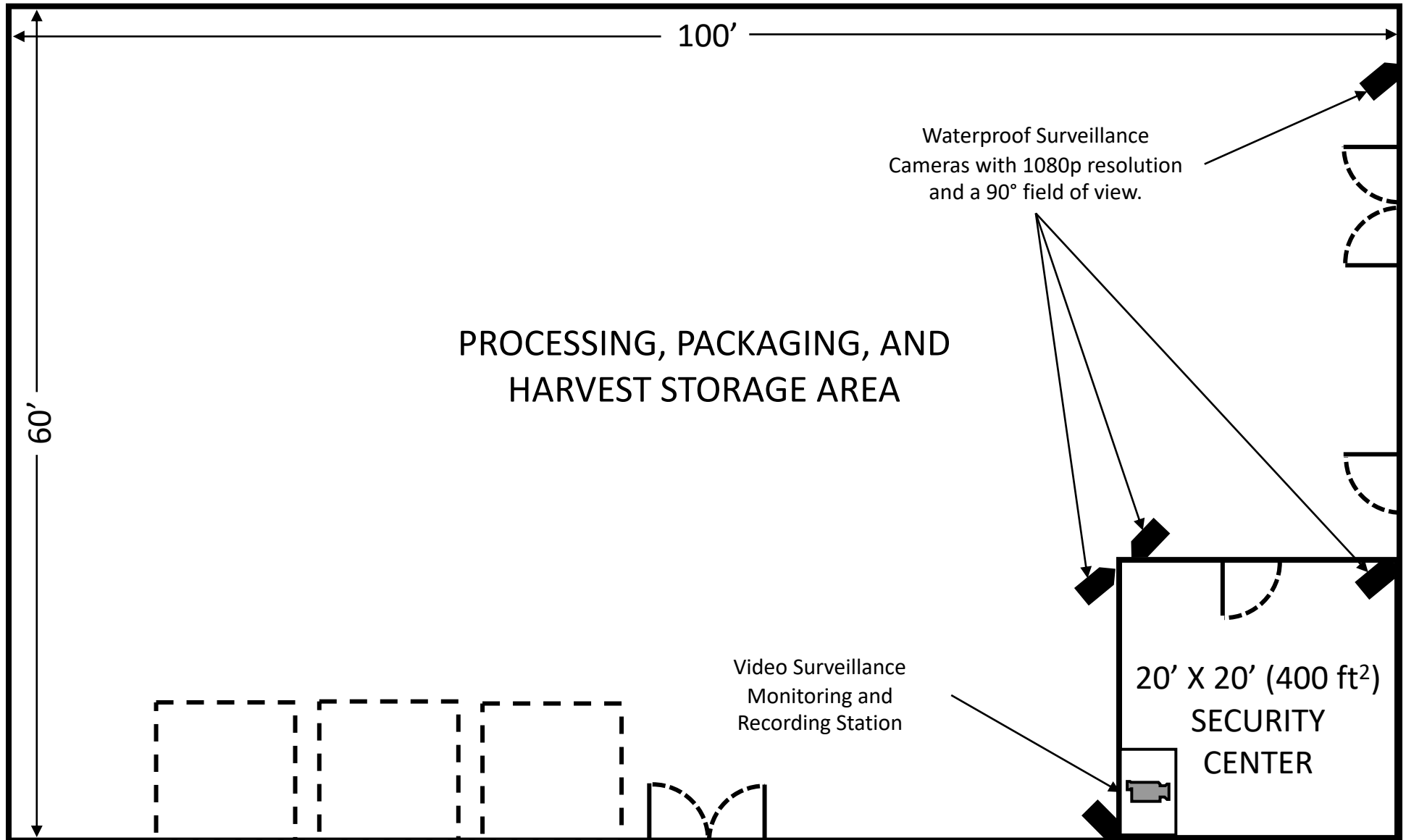
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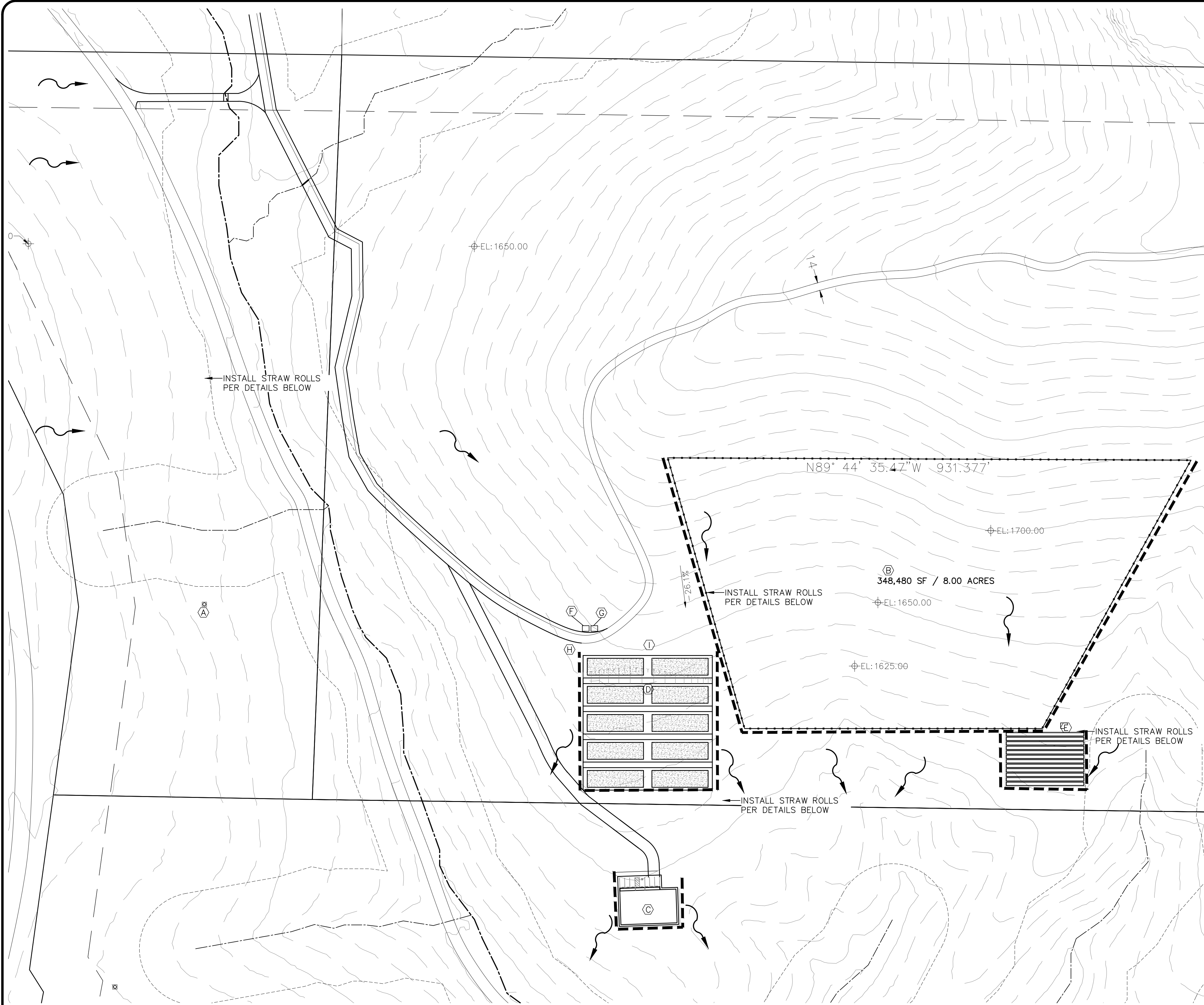
SHEET:
A2.2



PROPOSED PROCESSING BUILDING/FACILITY

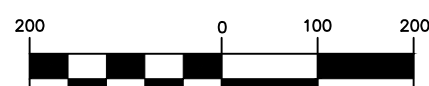
(Proposed Metal Building on Concrete Slab)



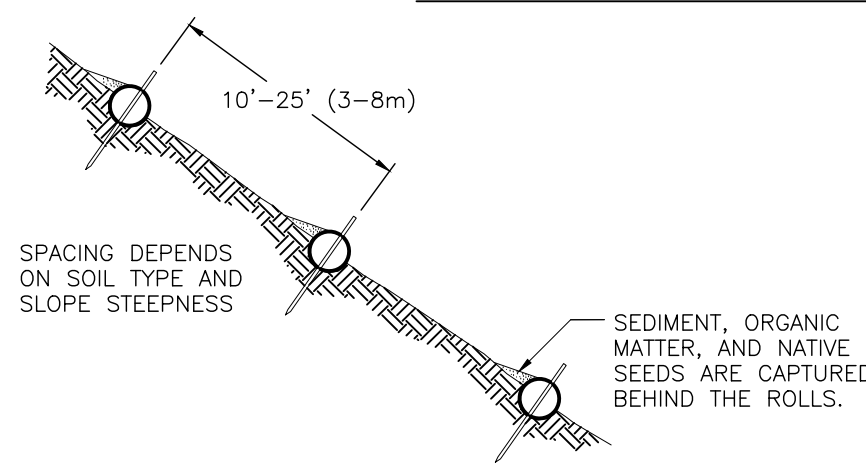
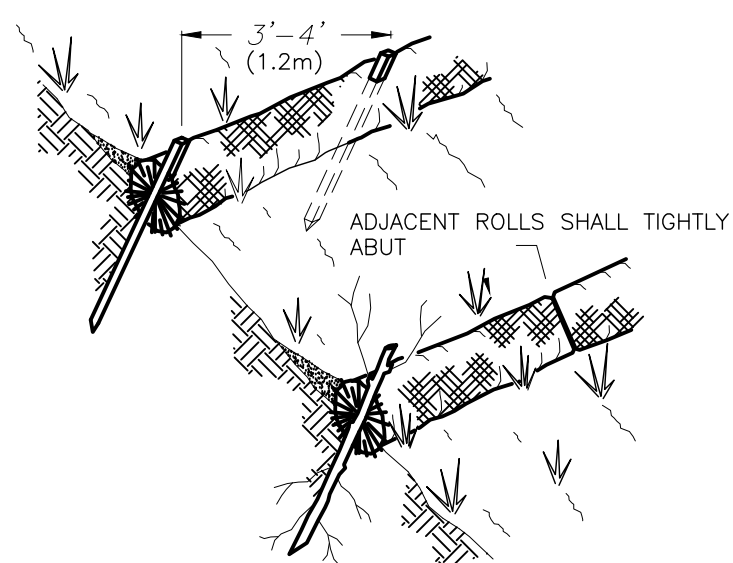
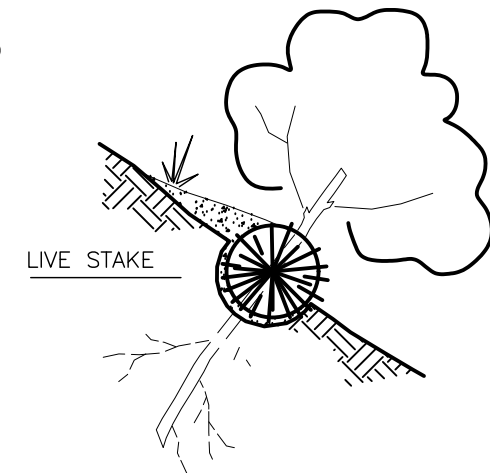
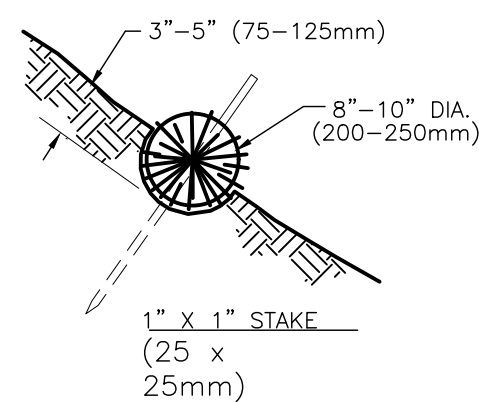


EROSION & SEDIMENT CONTROL PLAN

GRAPHIC SCALE



(IN FEET)
1 inch = 200 ft.



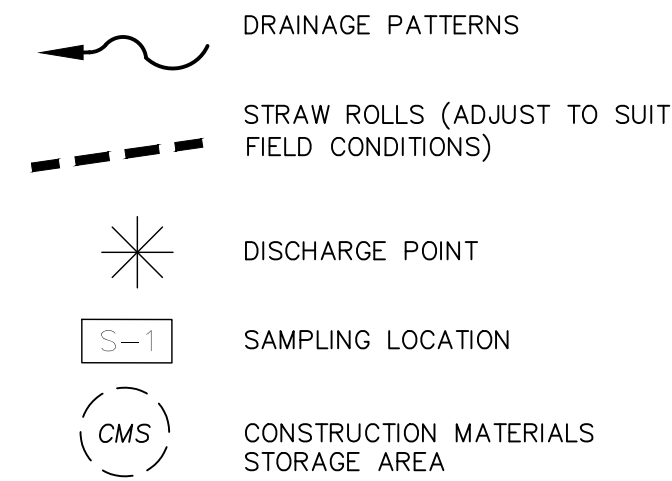
STRAW ROLL DETAILS

NOTES:

1. STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3"-5" (75-125mm) DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL.
2. STRAW ROLLS MUST BE PLACED ALONG SLOPE CONTOURS

EROSION & SEDIMENT CONTROL NOTES:

1. CONTRACTOR IS TO IMPLEMENT BEST MANAGEMENT PRACTICES (BMPs) TO CONTROL EROSION CONTROL AND REDUCE THE OFF-SITE DISCHARGE OF SEDIMENT TO THE MAXIMUM EXTENT PRACTICABLE.
2. EROSION CONTROL BMPs SHALL BE IN PLACE AND MAINTAINED ALL YEAR ROUND.
3. HE CONTRACTOR SHALL FOLLOW THE GUIDELINES FROM THE "CALIFORNIA STORMWATER BMP HANDBOOK" FOR THE MEASURES SHOWN OR STATED ON THESE PLANS.
4. CONTRACTOR MUST ENSURE THAT THE CONSTRUCTION SITE IS PREPARED PRIOR TO THE ONSET OF ANY STORM.
5. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS ONLY WITH THE APPROVAL OF OR AT THE DIRECTION OF THE QUALIFIED SWPPP PRACTITIONER (QSP).
6. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO ANTICIPATED FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THE PLAN IN THE FIELD SUBJECT TO THE APPROVAL OF OR AT THE DIRECTION OF A REPRESENTATIVE OF LAKE COUNTY.
7. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED BEFORE AND AFTER ALL STORMS TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.
8. CONTRACTOR SHALL MAINTAIN A LOG AT THE SITE OF ALL INSPECTIONS OR MAINTENANCE OF BMPs, AS WELL AS, ANY CORRECTIVE CHANGES TO THE BMPs OR EROSION AND SEDIMENT CONTROL PLAN.
9. THE CONTRACTOR SHALL INSTALL THE STABILIZED CONSTRUCTION ENTRANCE PRIOR TO COMMENCEMENT OF GRADING. LOCATION OF THE ENTRANCE MAY BE ADJUSTED BY THE CONTRACTOR TO FACILITATE GRADING OPERATIONS. ALL CONSTRUCTION TRAFFIC ENTERING THE PAVED ROAD MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE.
10. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY OR AS NECESSARY.
11. ANY LOOSE GROUND FROM EXCAVATING GRADING OPERATIONS SHALL BE SECURED PRIOR TO ANY RAIN EVENT. STRAW OR TARP ALL DISTURBED OR EXCAVATED GROUND.
12. CONTRACTOR SHALL PLACE GRAVEL BAGS AROUND ALL NEW DRAINAGE STRUCTURE OPENINGS IMMEDIATELY AFTER THE STRUCTURE OPENING IS CONSTRUCTED. THESE GRAVEL BAGS SHALL BE MAINTAINED AND REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED.
13. AS A MINIMUM, ALL GRADED AREAS AND EXPOSED SOIL WITHIN THE PROJECT SHALL BE SEEDED PER THE REQUIREMENTS OF LAKE COUNTY.
14. DUST GENERATION MUST BE MINIMIZED AND A WATER TRUCK MUST BE AVAILABLE ON-SITE FOR ADEQUATE DUST CONTROL.



LEGEND:

1530	CONTOUR ELEVATION
---	FENCE
ASPHALT	ASPHALT
GRAVEL	GRAVEL
---	CREEK / SWALE
APN	ASSESSOR'S PARCEL NUMBER
APPROX	APPROXIMATELY
DWY	DRIVEWAY
(E)	EXISTING
(P)	PROPOSED
RD	ROAD
SF	SQUARE FEET

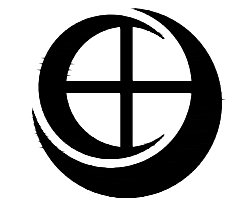
NOTES:

1. CONTOUR INTERVAL IS 5.0'

(A)	(E) GROUNDWATER WELL LAT: 39.002447° LONG: -122.603713° BENEFICIAL USES: XX
(B)	(E) 348,480SF OUTDOOR CULTIVATION/CANOPY AREA
(C)	(P) 60'x100' PROCESSING BUILDING
(D)	(P) TWELVE 30'x100' GUTTER CONNECTED GREENHOUSES
(E)	(P) EIGHTEEN -6'x92.5' CUTTER CONNECTED GREEN HOUSES
(F)	(P) 120 SQ.FT. SECURITY SHED
(G)	(P) 120 SQ.FT. PESTICIDES & AGRICULTURAL CHEMICAL STORAGE
(H)	(P) 5,000 GALLON METAL FIRE WATER TANKS
(I)	(P) PARKING STALLS. 1 A.D.A AND 7 NORMAL SPOTS

Revisions:

REALM ENGINEERING
CIVIL ENGINEERING, SURVEYING & PLANNING
1767 MARKET STREET SUITE C
REDDING, CA. 96001
530-526-7493



PLANS PREPARED UNDER THE SUPERVISION OF:



EROSION & SEDIMENT CONTROL PLAN

DEZEL RANCH

660 JUNCTION PLAZA
CLEARLAKE, CA 95423

APN# 010-055-28, 29, 33, 37, & 38

PLOTTED BY:

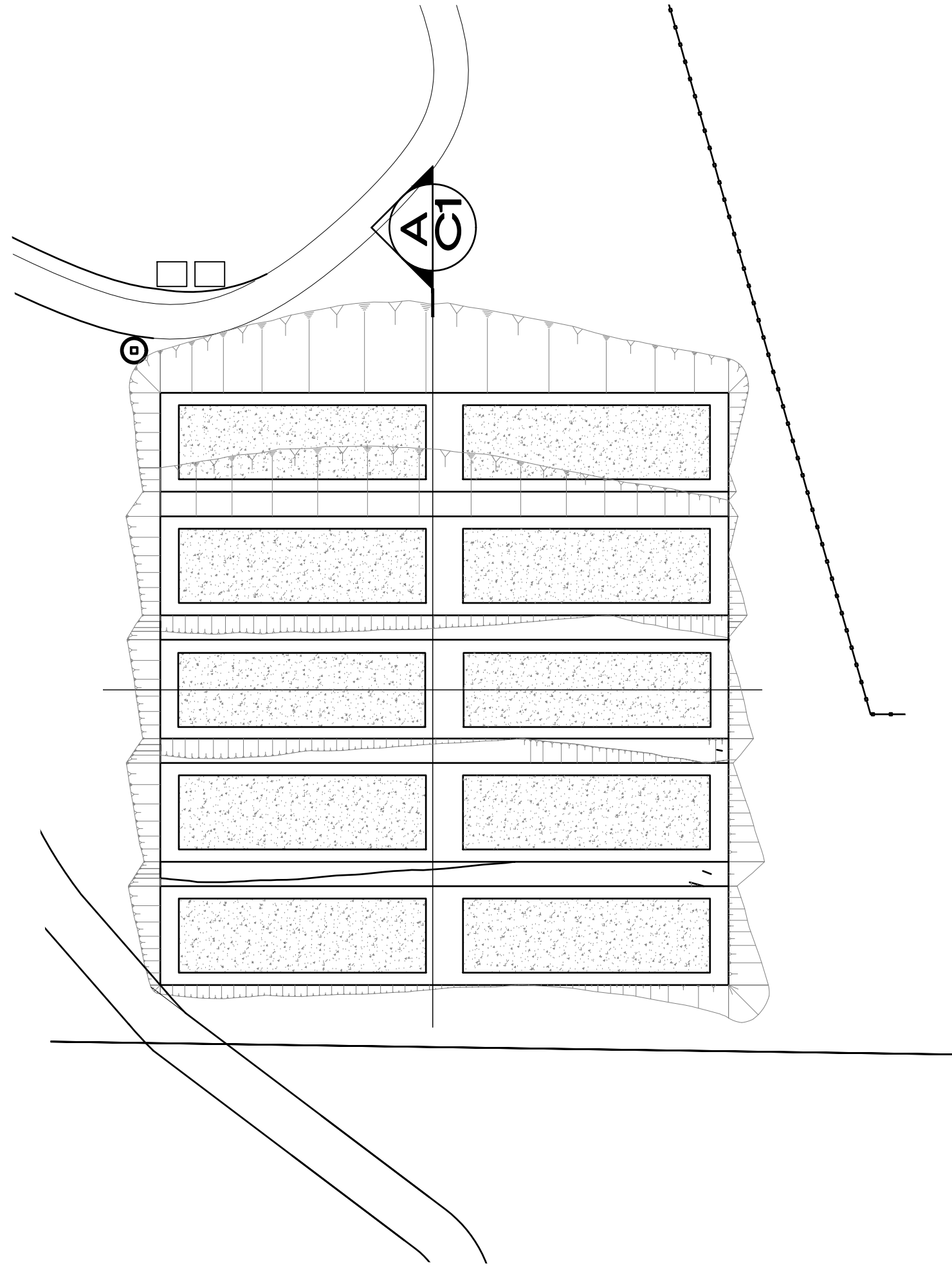
DATE PLOTTED:

10/03/2022

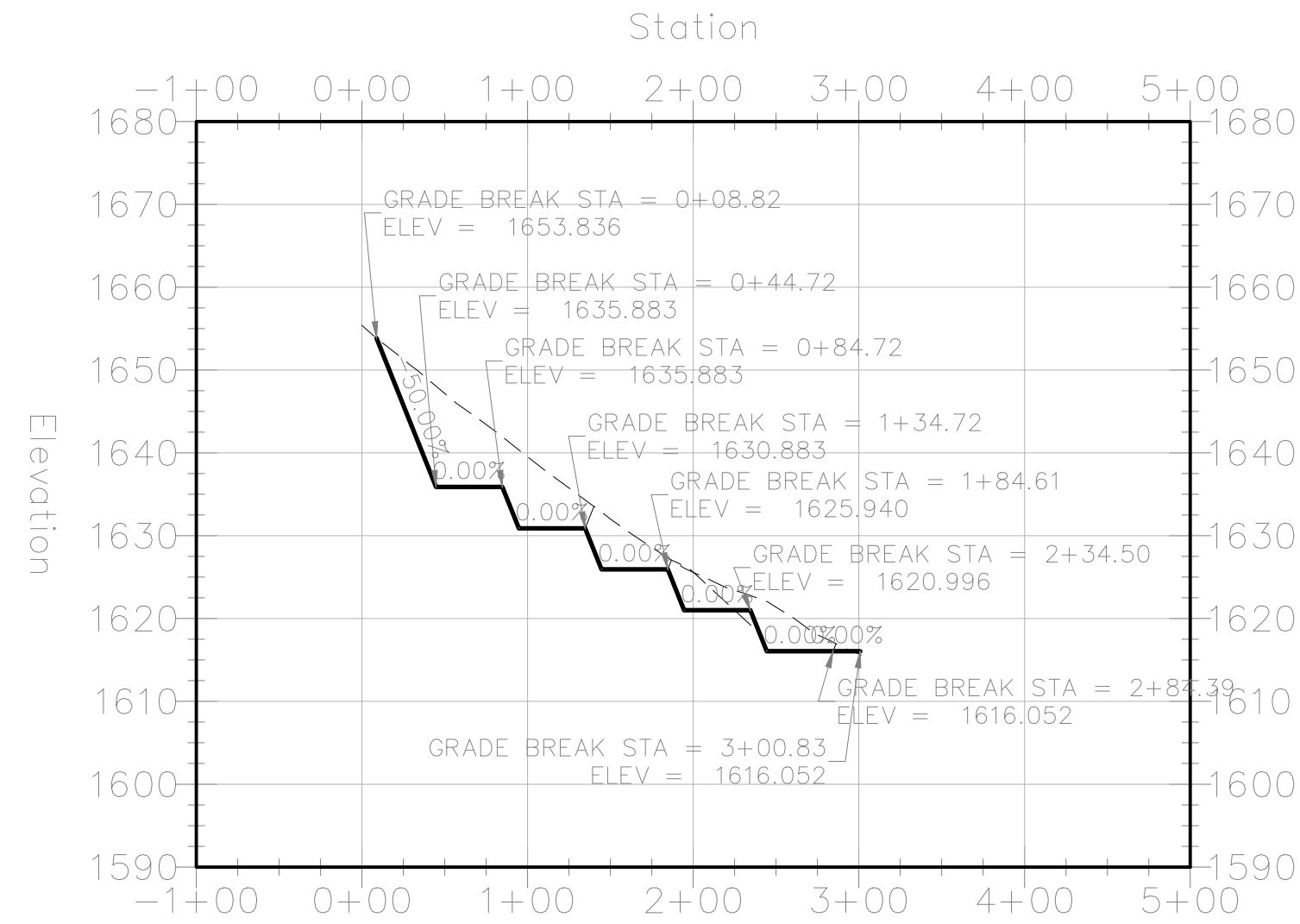
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SEE PLAN

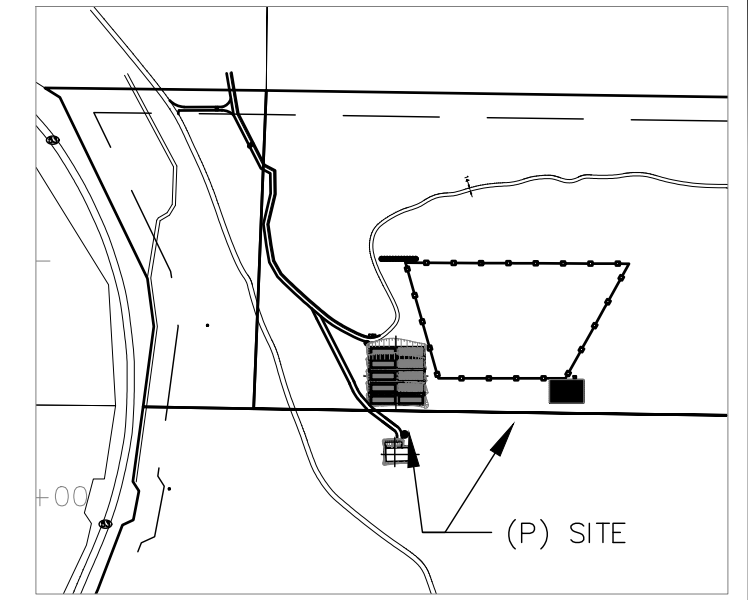
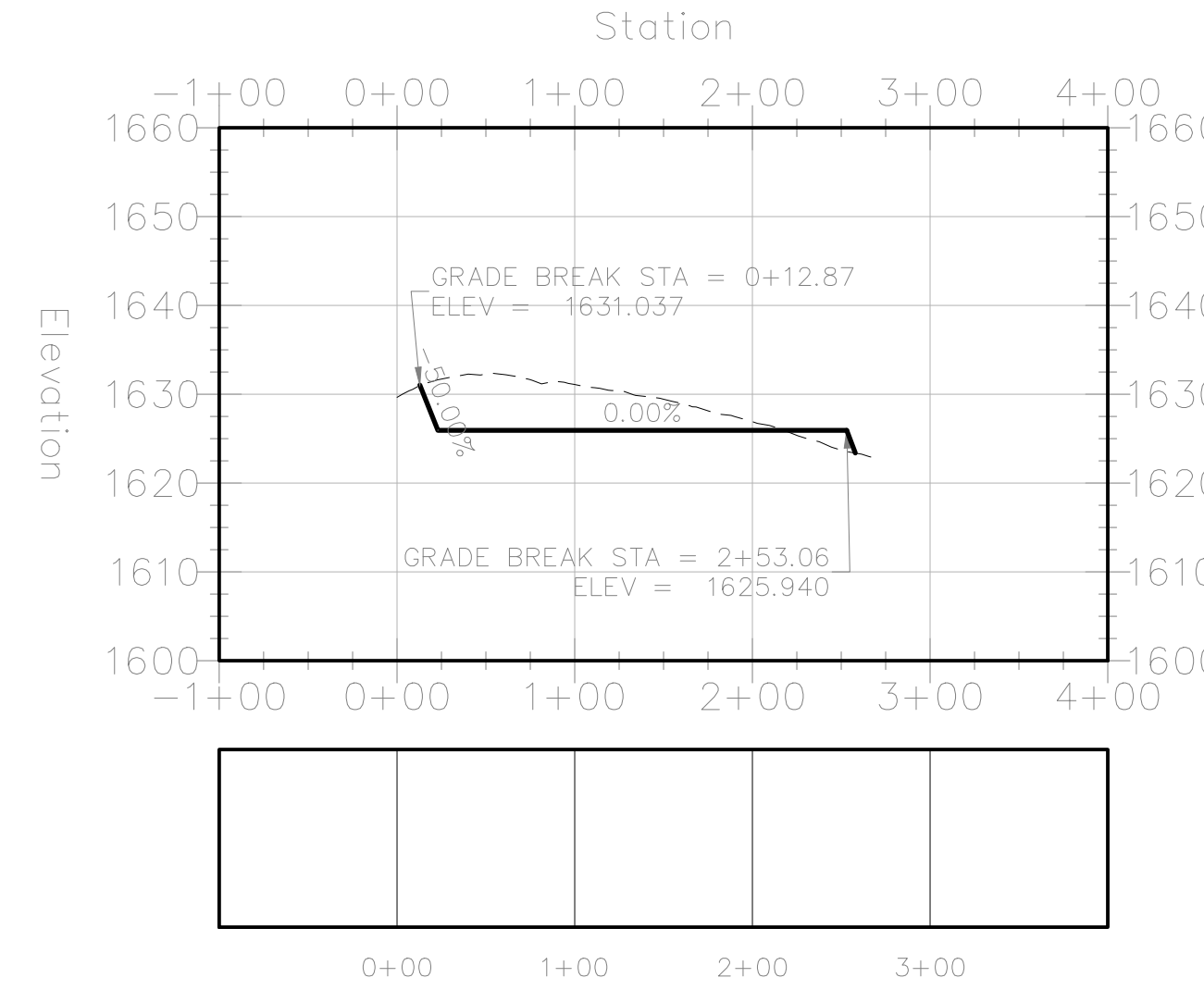
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A GREENHOUSE SECTION A-A'
SCALE: 1" = 100'

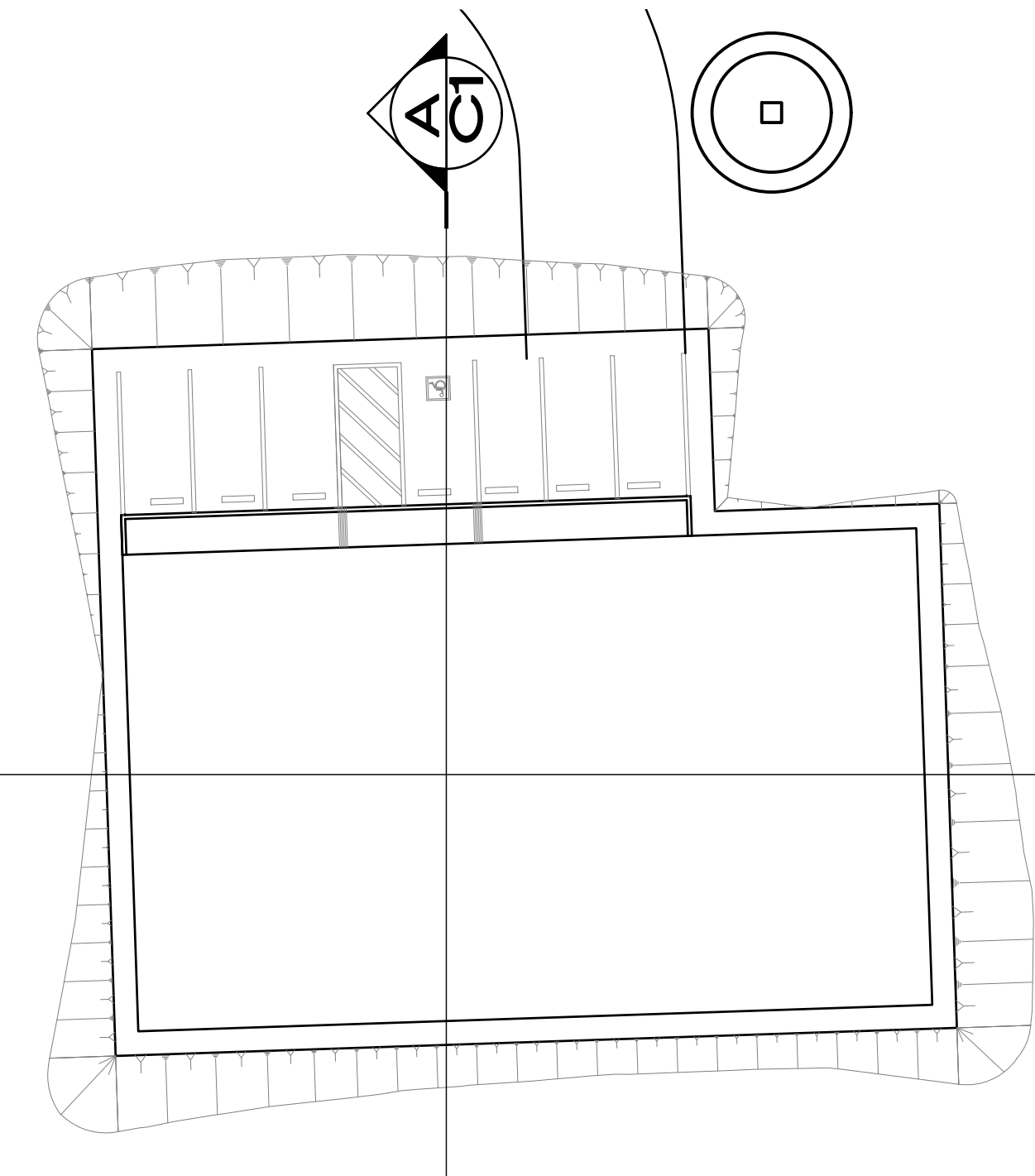
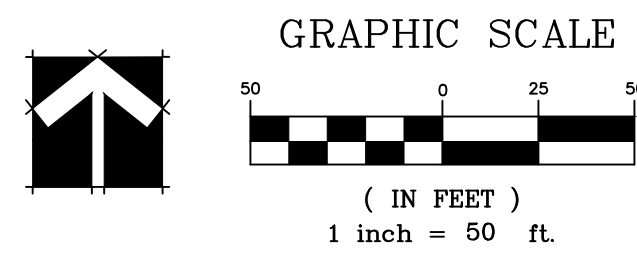


B GREENHOUSE SECTION B-B'
SCALE: 1" = 100'

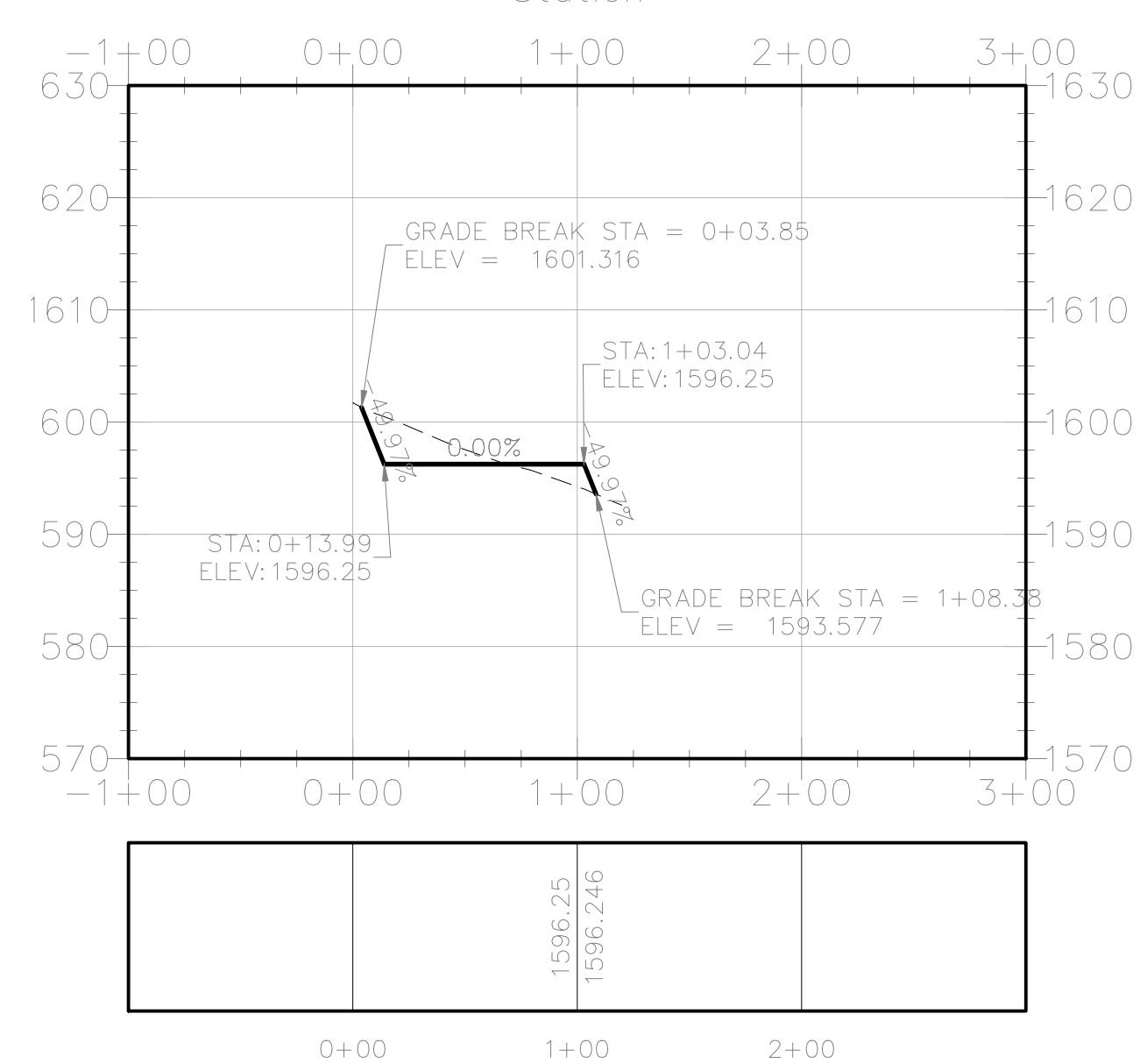


DEZEL RANCH
660 JUNCTION PLAZA
CLEARLAKE, CA 95423
APN's: 010-055-28, 29, 33, 37, & 38

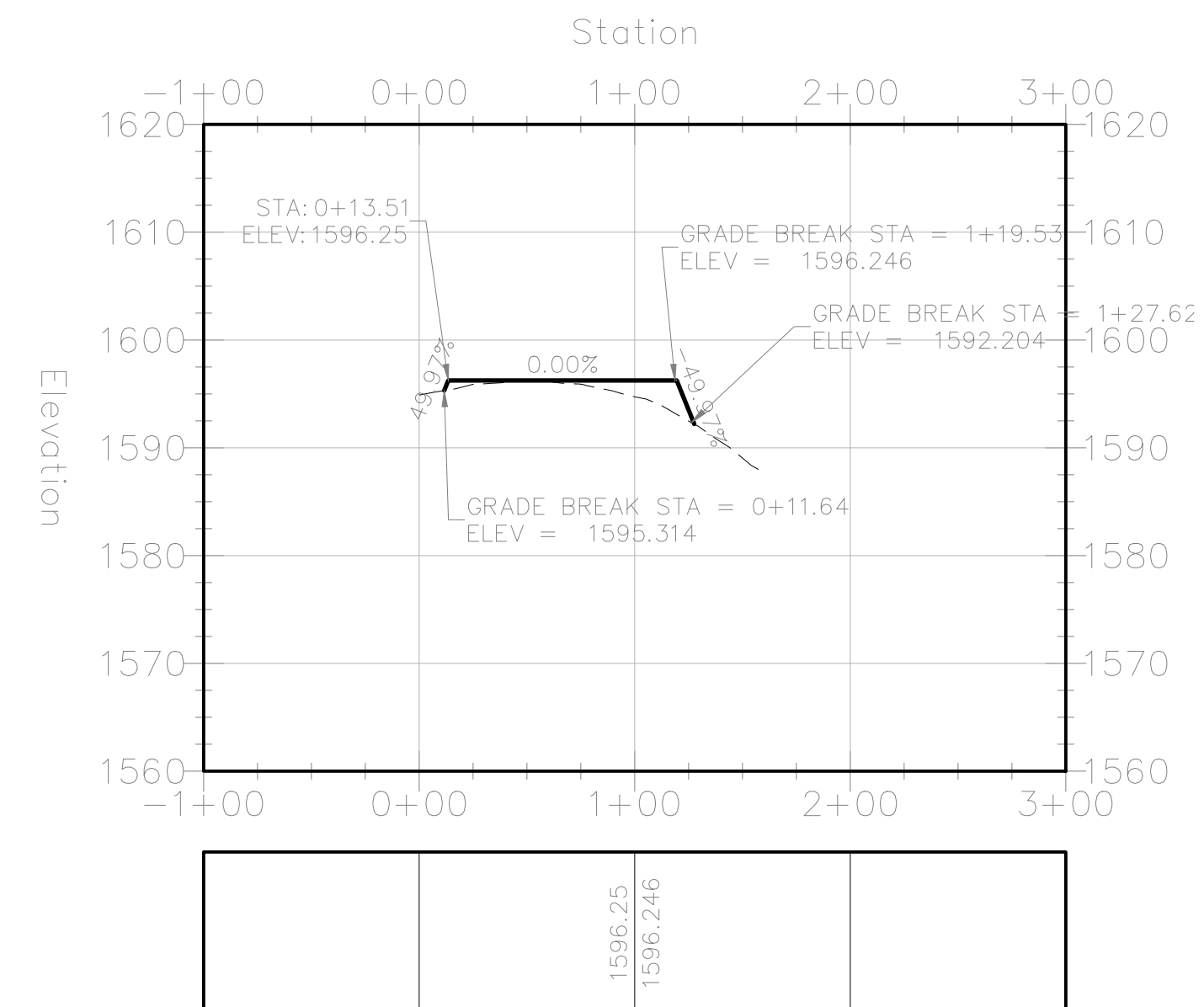
GRADING PROFILE OF
(P) PHASE II



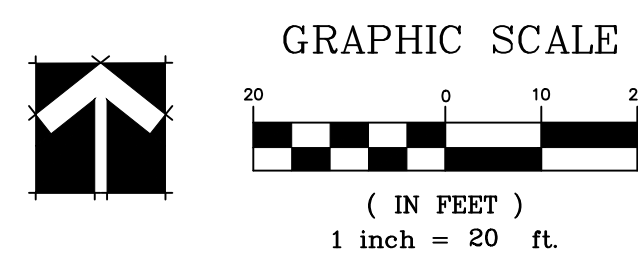
A GREENHOUSE SECTION A-A'
SCALE: 1" = 75'



B GREENHOUSE SECTION B-B'
SCALE: 1" = 100'



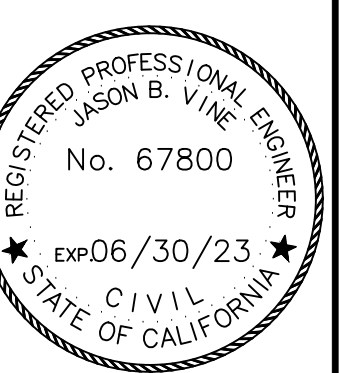
GRADING PROFILE OF
(P) PHASE II



Revisions:

REALM ENGINEERING
CIVIL ENGINEERING, SURVEYING & PLANNING
1767 MARKET STREET SUITE C
REDDING, CA. 96001
530-526-7493

PLANS PREPARED UNDER THE
SUPERVISION OF:



SECURITY SITE PLAN
DEZEL RANCH
660 JUNCTION PLAZA
CLEARLAKE, CA 95423
APN# 010-055-28, 29, 33, 37, & 38

PLOTTED BY:

DATE PLOTTED:

SCALE OF DRAWING:

SEE PLAN

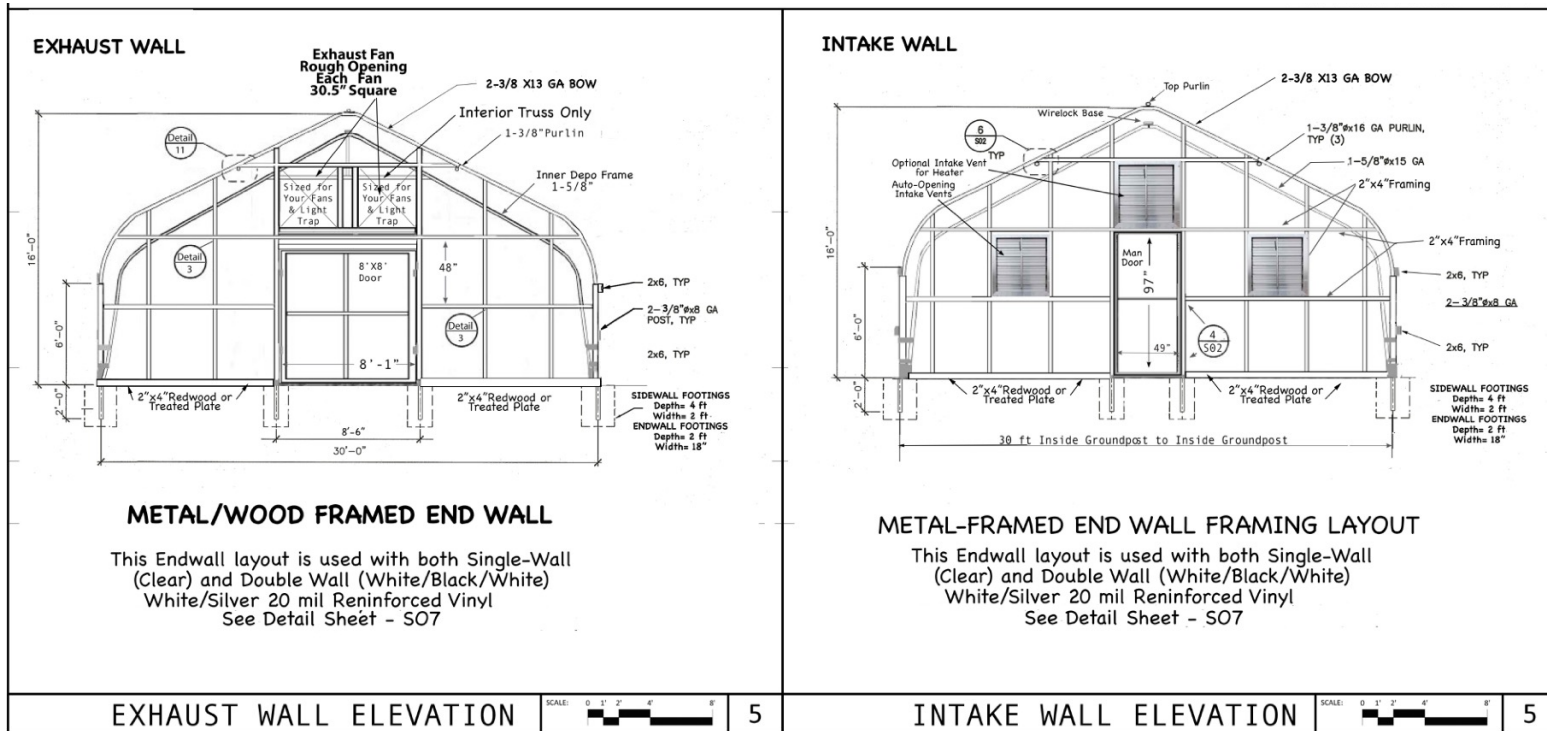
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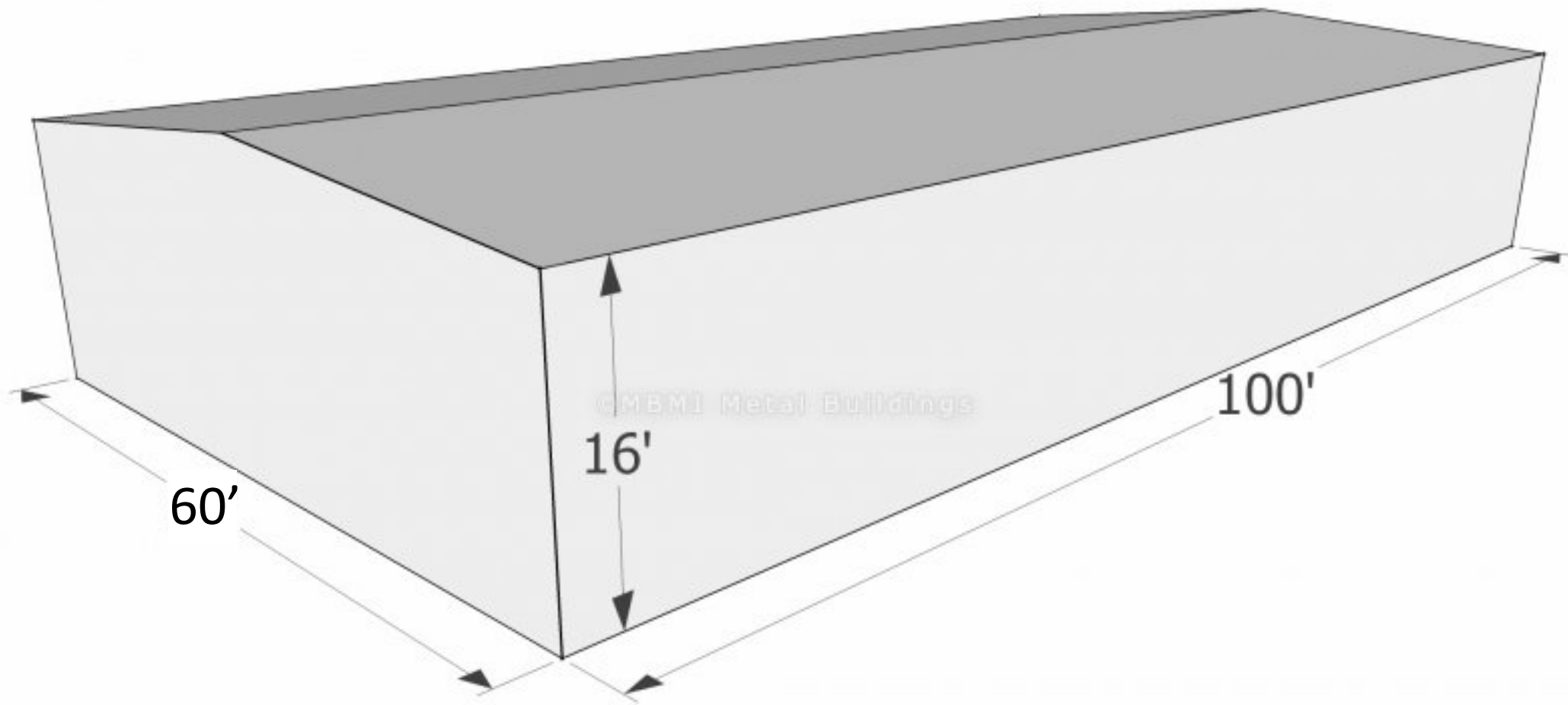
C1

GREENHOUSE ELEVATIONS



PROPOSED PROCESSING BUILDING/FACILITY ELEVATION

(Proposed Metal Building on Concrete Slab)

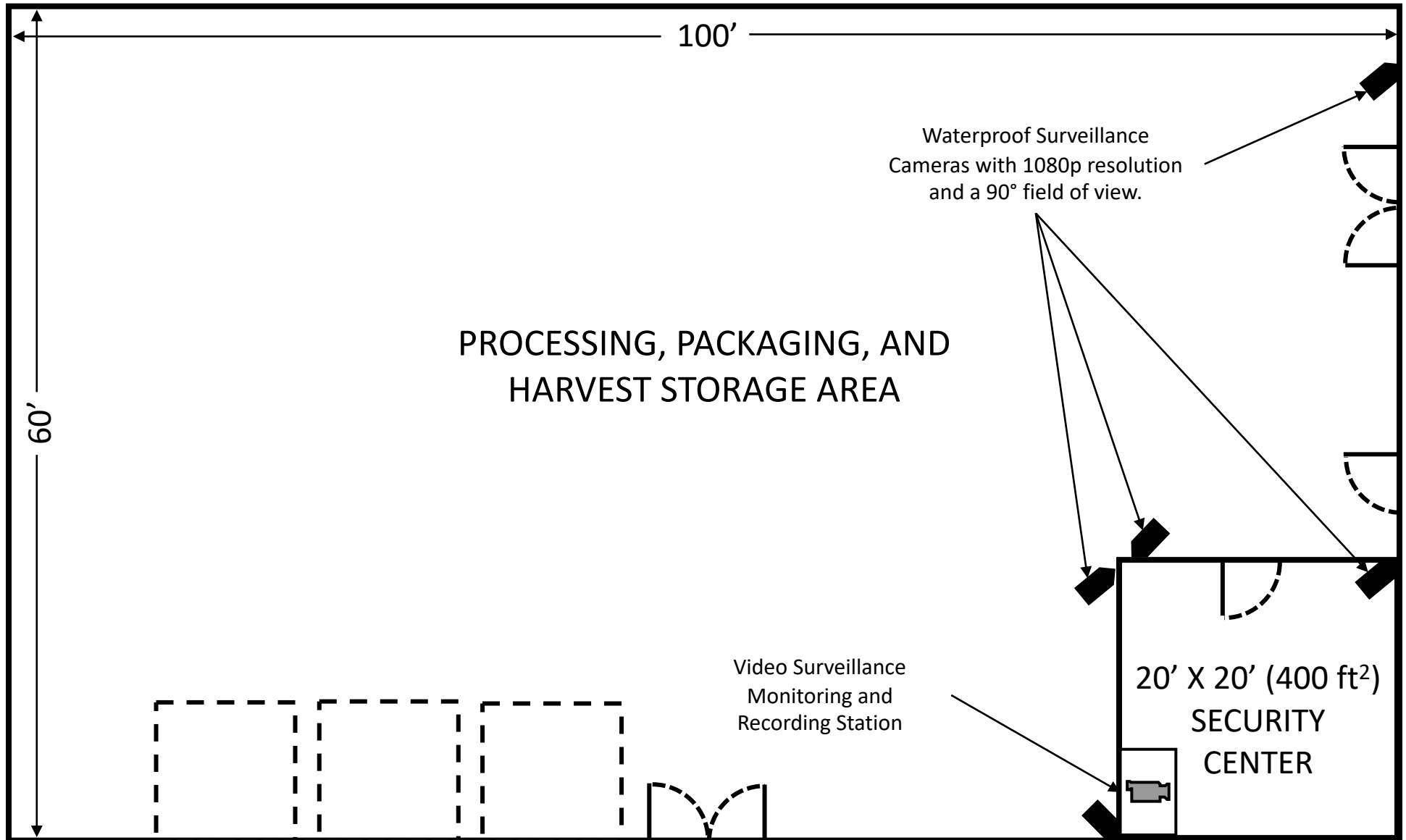


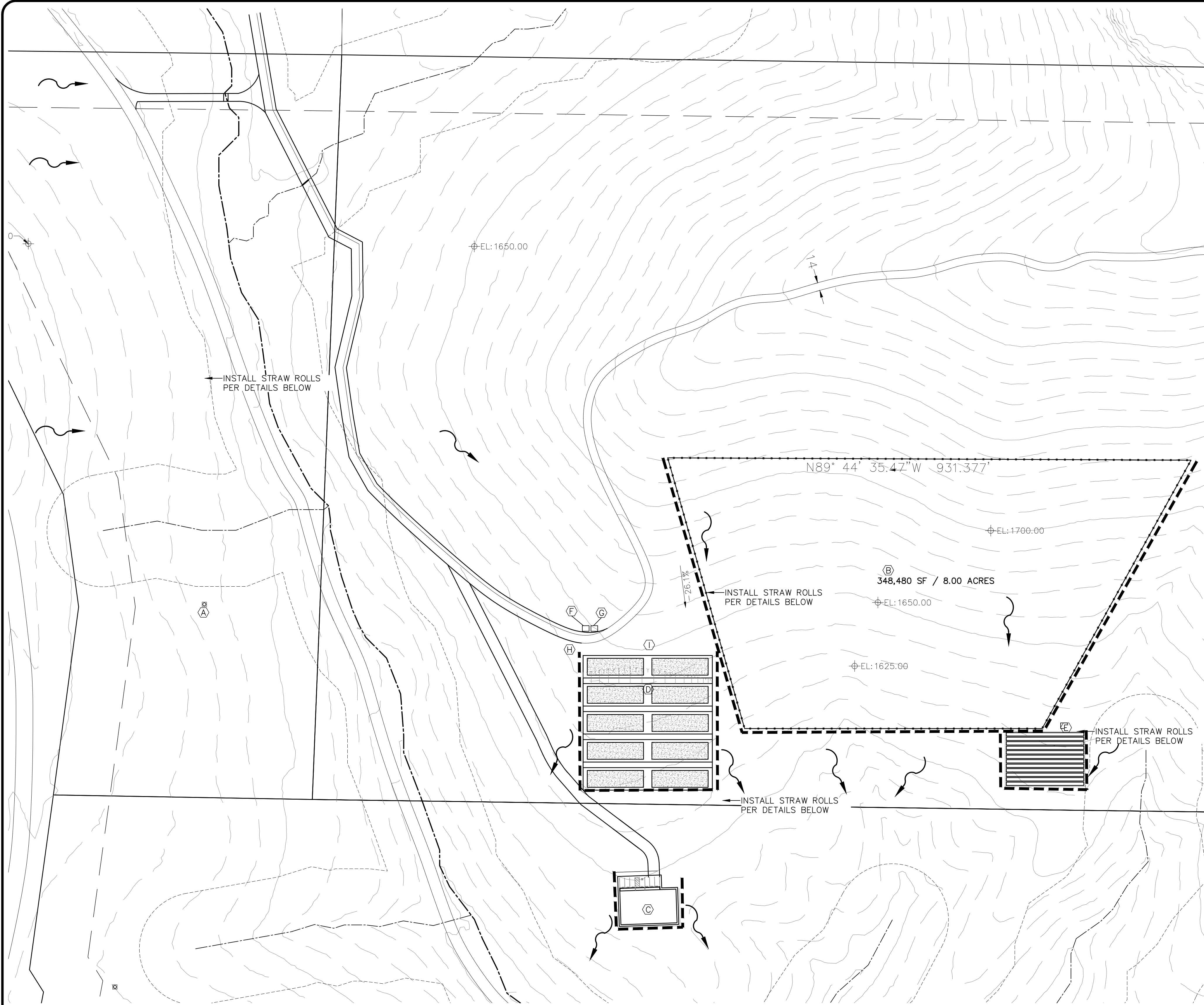


A2.1

PROPOSED PROCESSING BUILDING/FACILITY

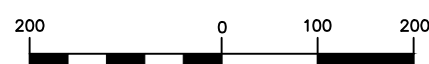
(Proposed Metal Building on Concrete Slab)



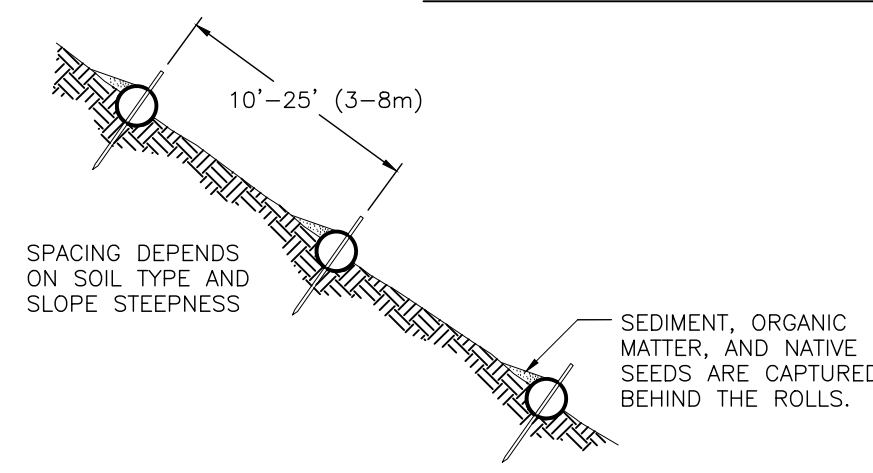
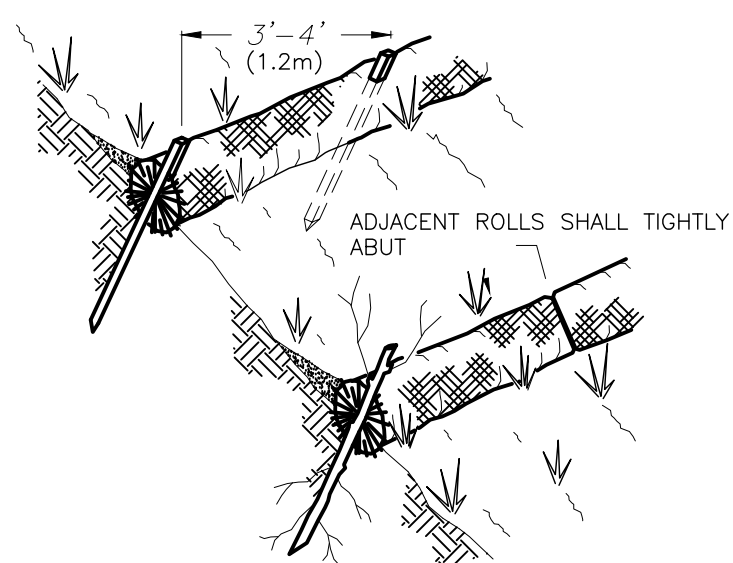
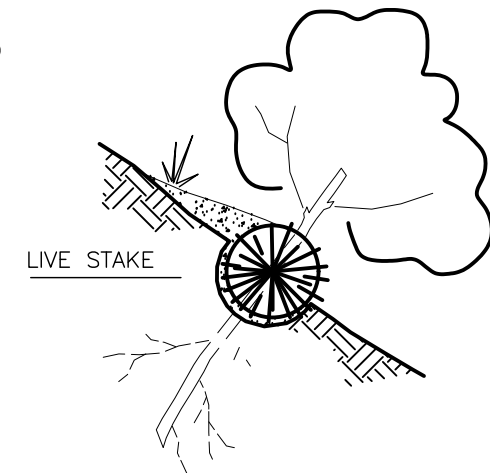
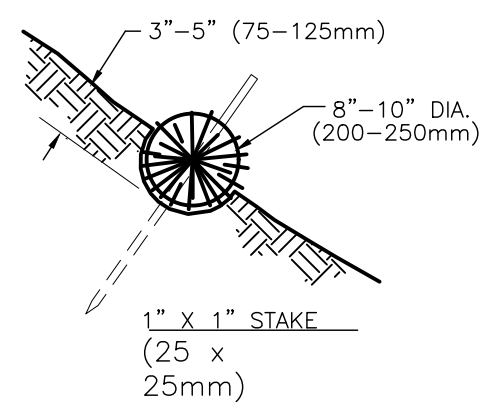


EROSION & SEDIMENT CONTROL PLAN

GRAPHIC SCALE



(IN FEET)
1 inch = 200 ft.



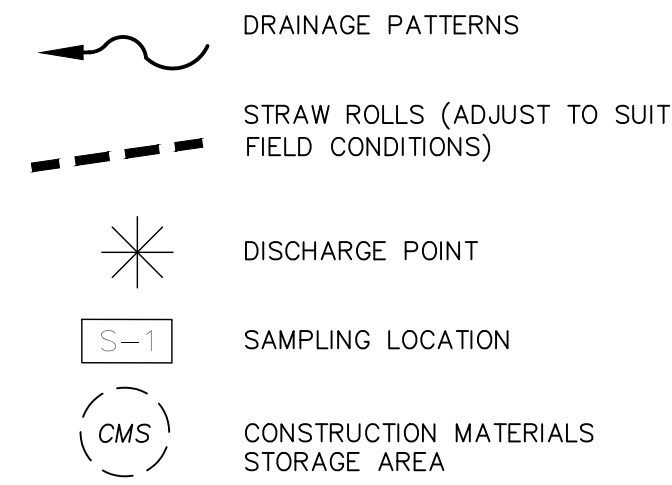
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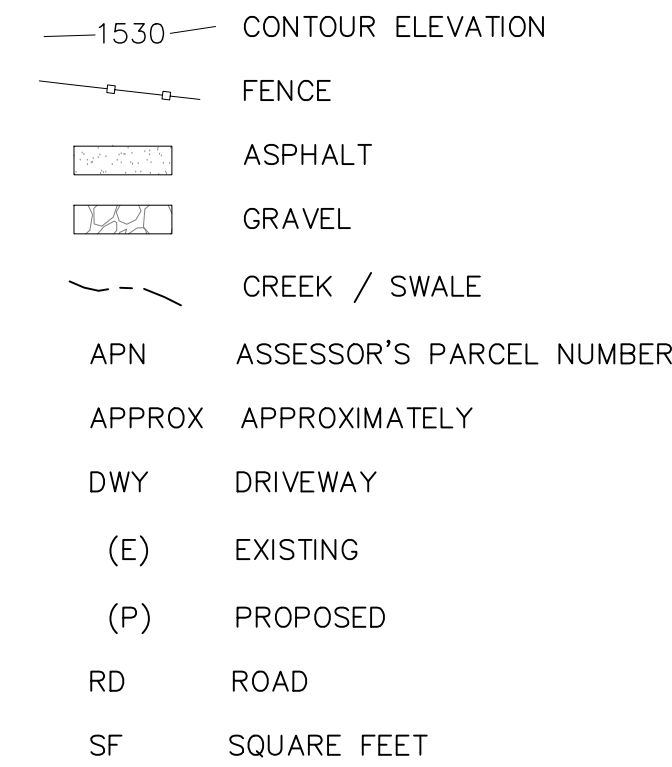
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DEZEL RANCH
660 JUNCTION PLAZA
CLEARLAKE, CA 95423
APN's: 010-055-28, 29, 33, 37, & 38

LEGEND:



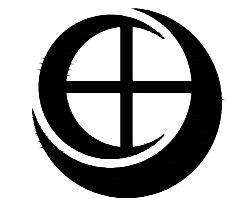
NOTES:

1. CONTOUR INTERVAL IS 5.0'

- (A) (E) GROUNDWATER WELL
LAT: 39.002447°
LONG: -122.603713°
BENEFICIAL USES: XX
- (B) (E) 348,480SF OUTDOOR CULTIVATION/CANOPY AREA
- (C) (P) 60'x100' PROCESSING BUILDING
- (D) (P) TWELVE 30'x100' GUTTER CONNECTED GREENHOUSES
- (E) (P) EIGHTEEN -6'x92.5' CUTTER CONNECTED GREEN HOUSES
- (F) (P) 120 SQ.FT. SECURITY SHED
- (G) (P) 120 SQ.FT. PESTICIDES & AGRICULTURAL CHEMICAL STORAGE
- (H) (P) 5,000 GALLON METAL FIRE WATER TANKS
- (I) (P) PARKING STALLS. 1 A.D.A AND 7 NORMAL SPOTS

Revisions:

REALM ENGINEERING
CIVIL ENGINEERING, SURVEYING & PLANNING
1767 MARKET STREET SUITE C
REDDING, CA. 96001
530-526-7493



PLANS PREPARED UNDER THE SUPERVISION OF:



EROSION & SEDIMENT CONTROL PLAN

DEZEL RANCH

660 JUNCTION PLAZA
CLEARLAKE, CA 95423
APN# 010-055-28, 29, 33, 37, & 38

PLOTTED BY:

DATE PLOTTED:

10/03/2022

SCALE OF DRAWING:

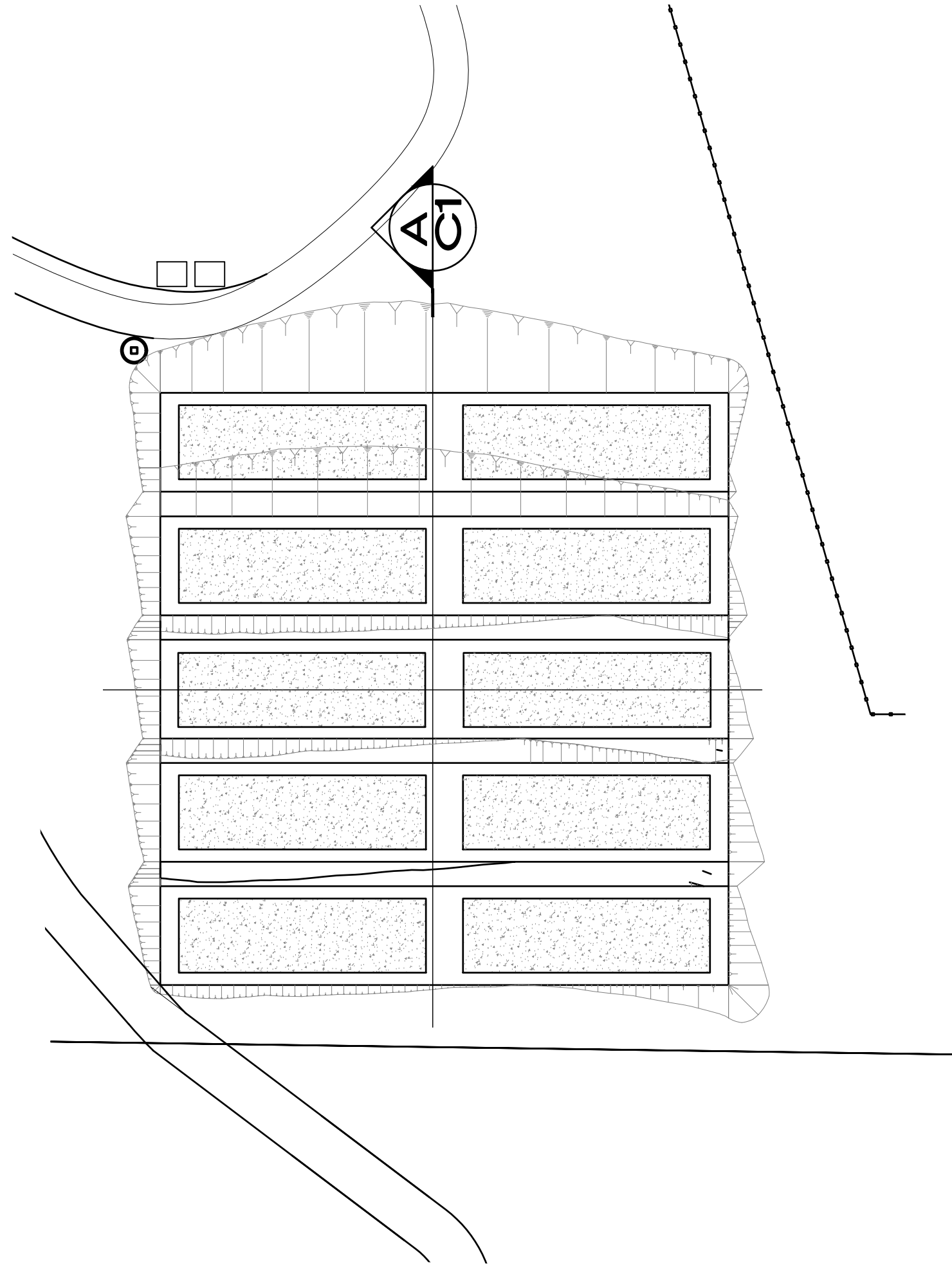
SEE PLAN

JOB NUMBER:

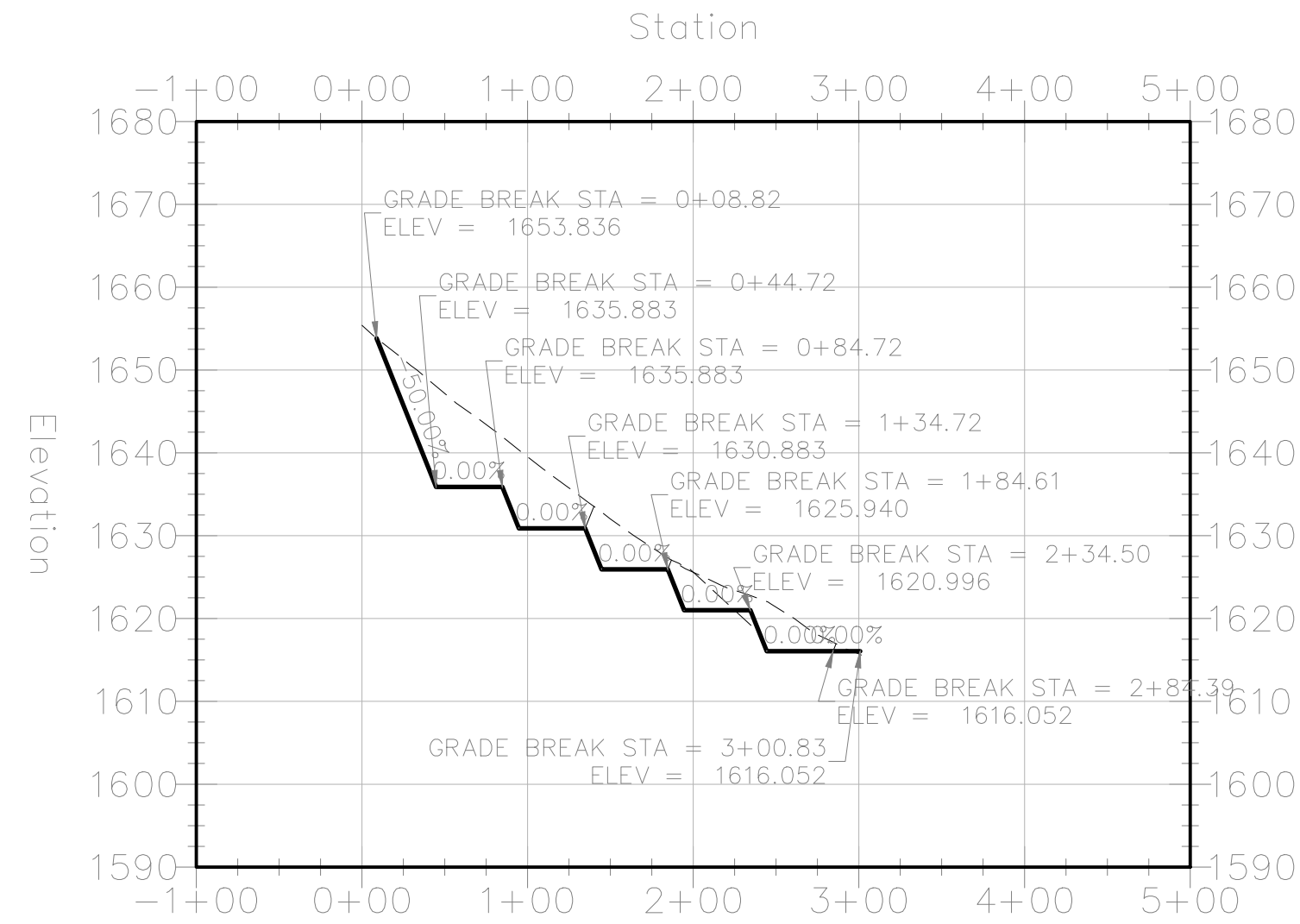
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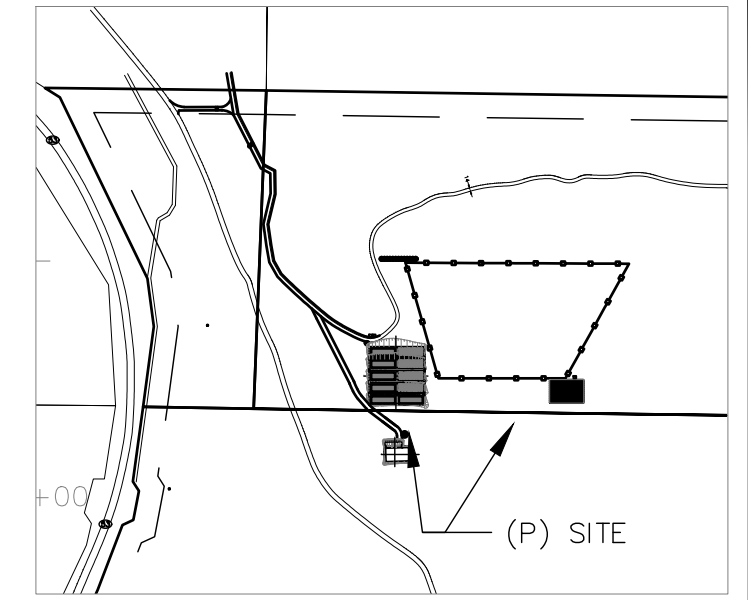
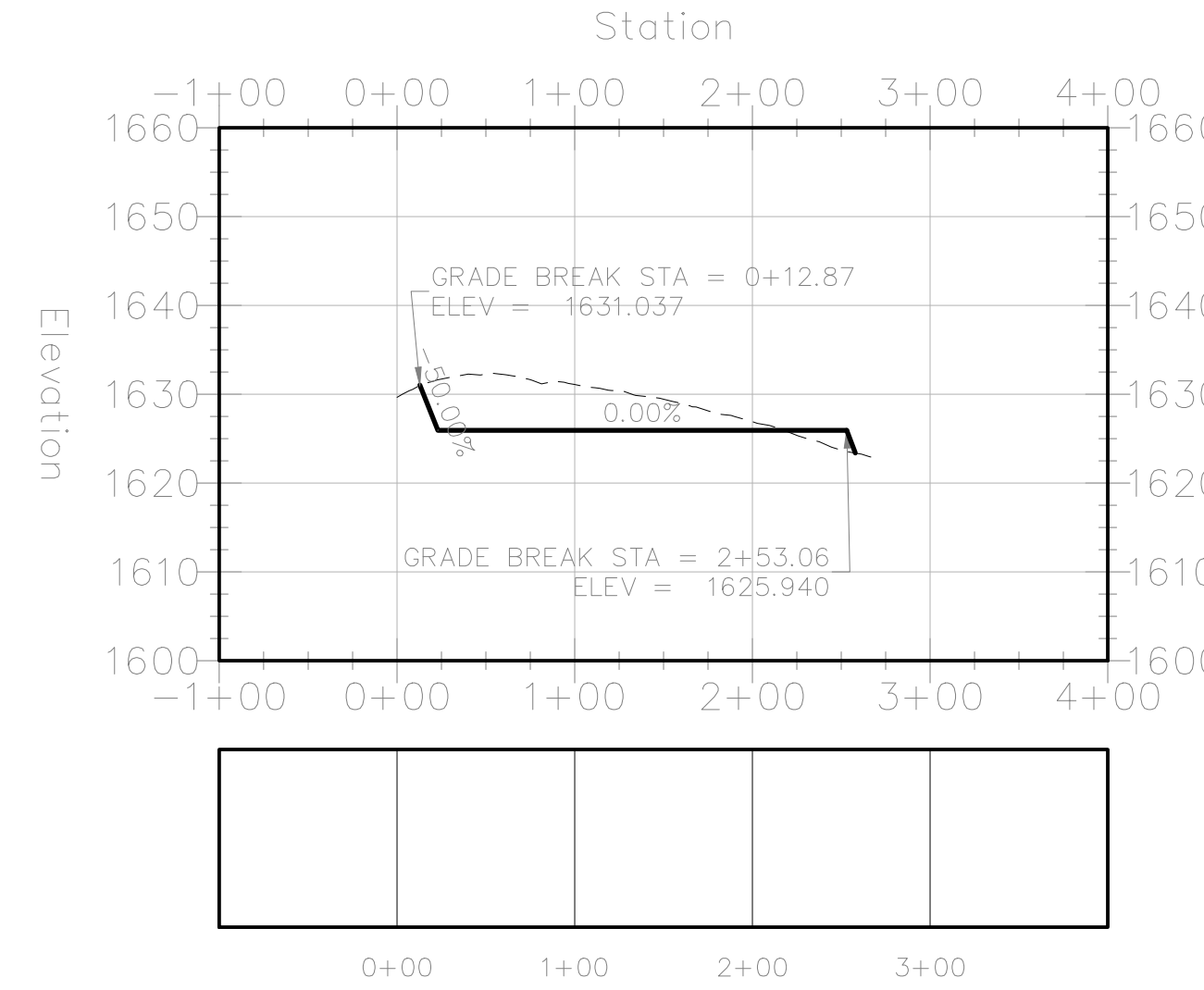
A2.3



A GREENHOUSE SECTION A-A'
SCALE: 1" = 100'

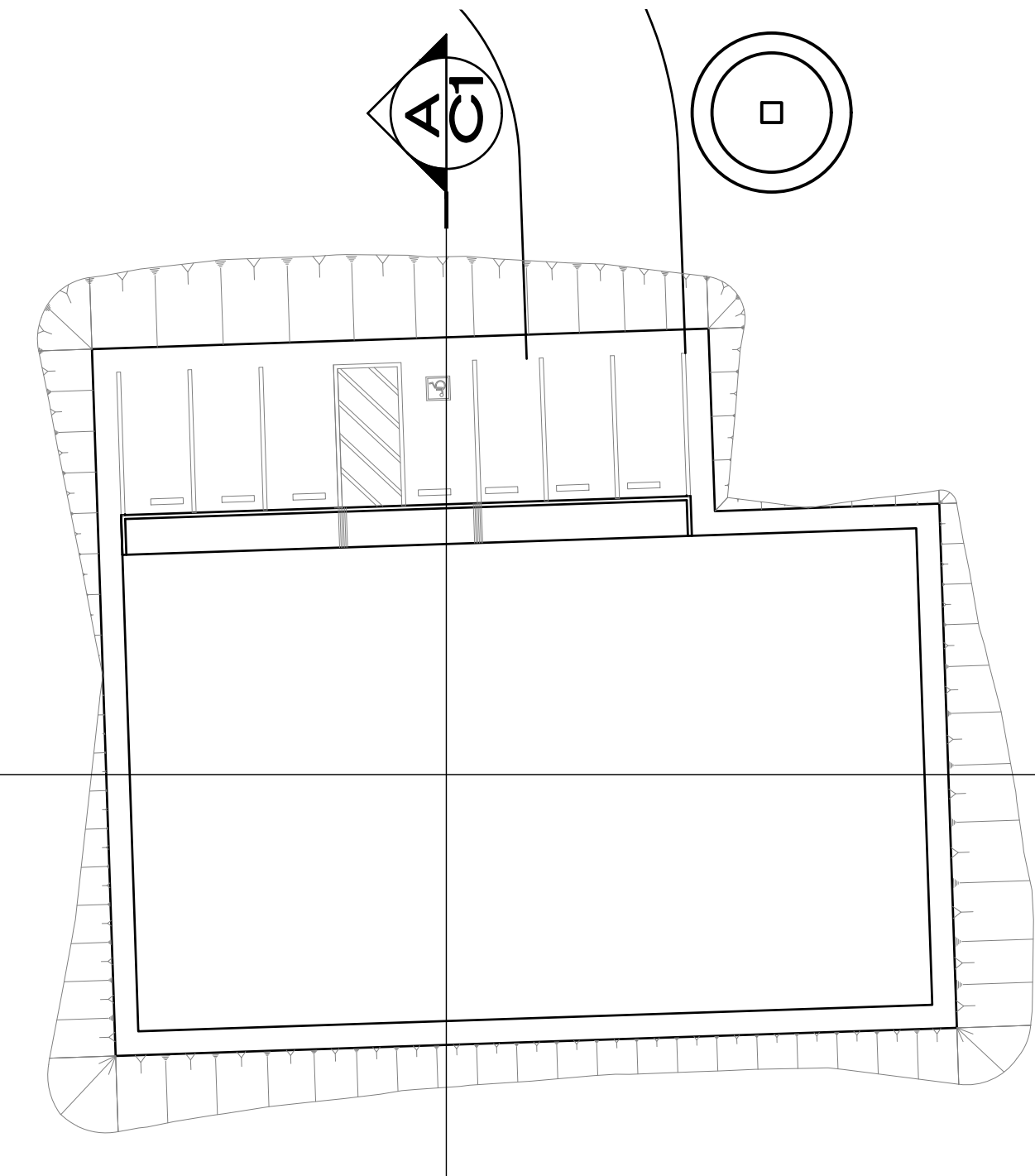
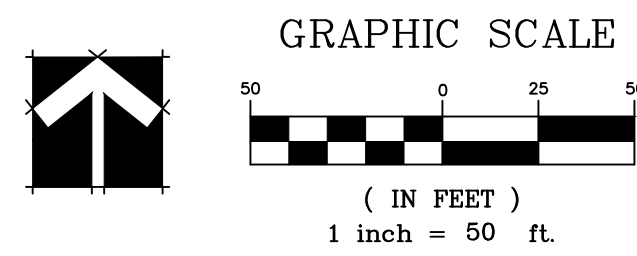


B GREENHOUSE SECTION B-B'
SCALE: 1" = 100'

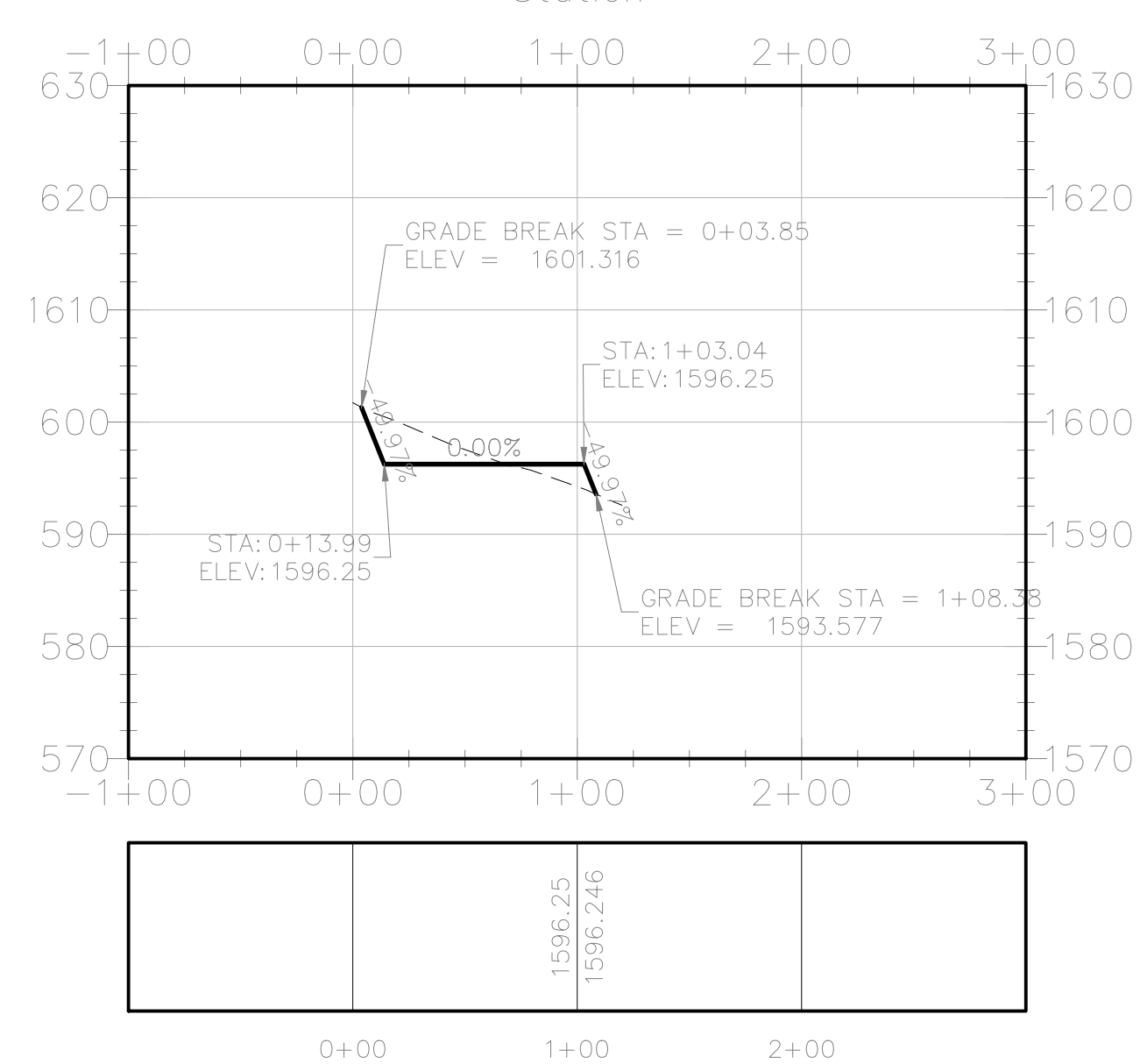


DEZEL RANCH
660 JUNCTION PLAZA
CLEARLAKE, CA 95423
APN's: 010-055-28, 29, 33, 37, & 38

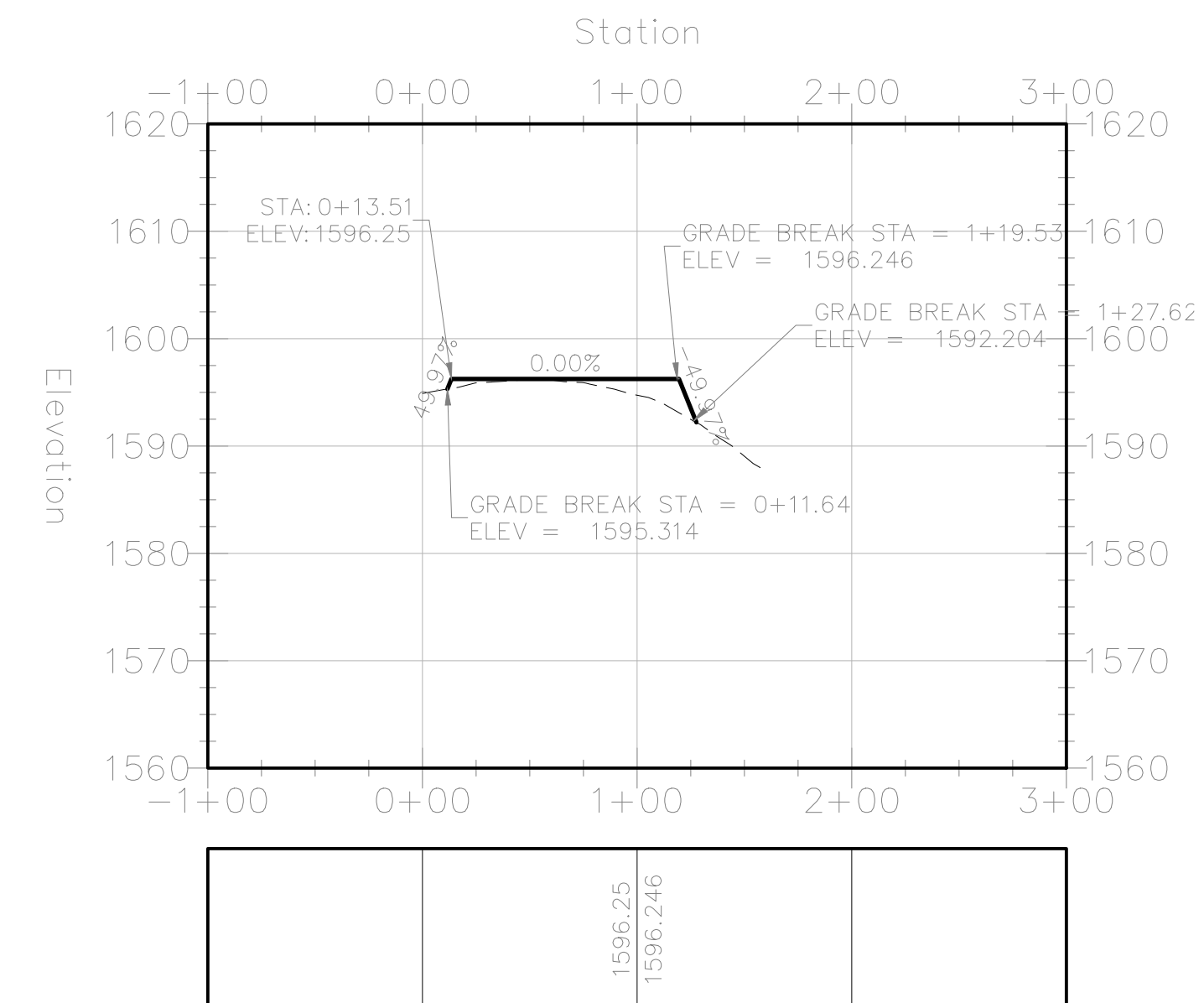
GRADING PROFILE OF
(P) PHASE II



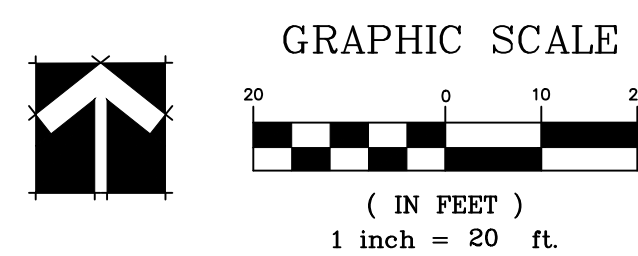
A GREENHOUSE SECTION A-A'
SCALE: 1" = 75'



B GREENHOUSE SECTION B-B'
SCALE: 1" = 100'



GRADING PROFILE OF
(P) PHASE II



Revisions:

REALM ENGINEERING
CIVIL ENGINEERING, SURVEYING & PLANNING
1767 MARKET STREET SUITE C
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PLANS PREPARED UNDER THE
SUPERVISION OF:
REGISTERED PROFESSIONAL ENGINEER
JASON B. VINE
No. 67800
EXP 06/30/23
CIVIL
STATE OF CALIFORNIA

SECURITY SITE PLAN
DEZEL RANCH
660 JUNCTION PLAZA
CLEARLAKE, CA 95423
APN# 010-055-28, 29, 33, 37, & 38

PLOTTED BY:
DATE PLOTTED:
10/03/2022
SCALE OF DRAWING:
SEE PLAN
JOB NUMBER:
CADD FILE:
SHEET:

C1