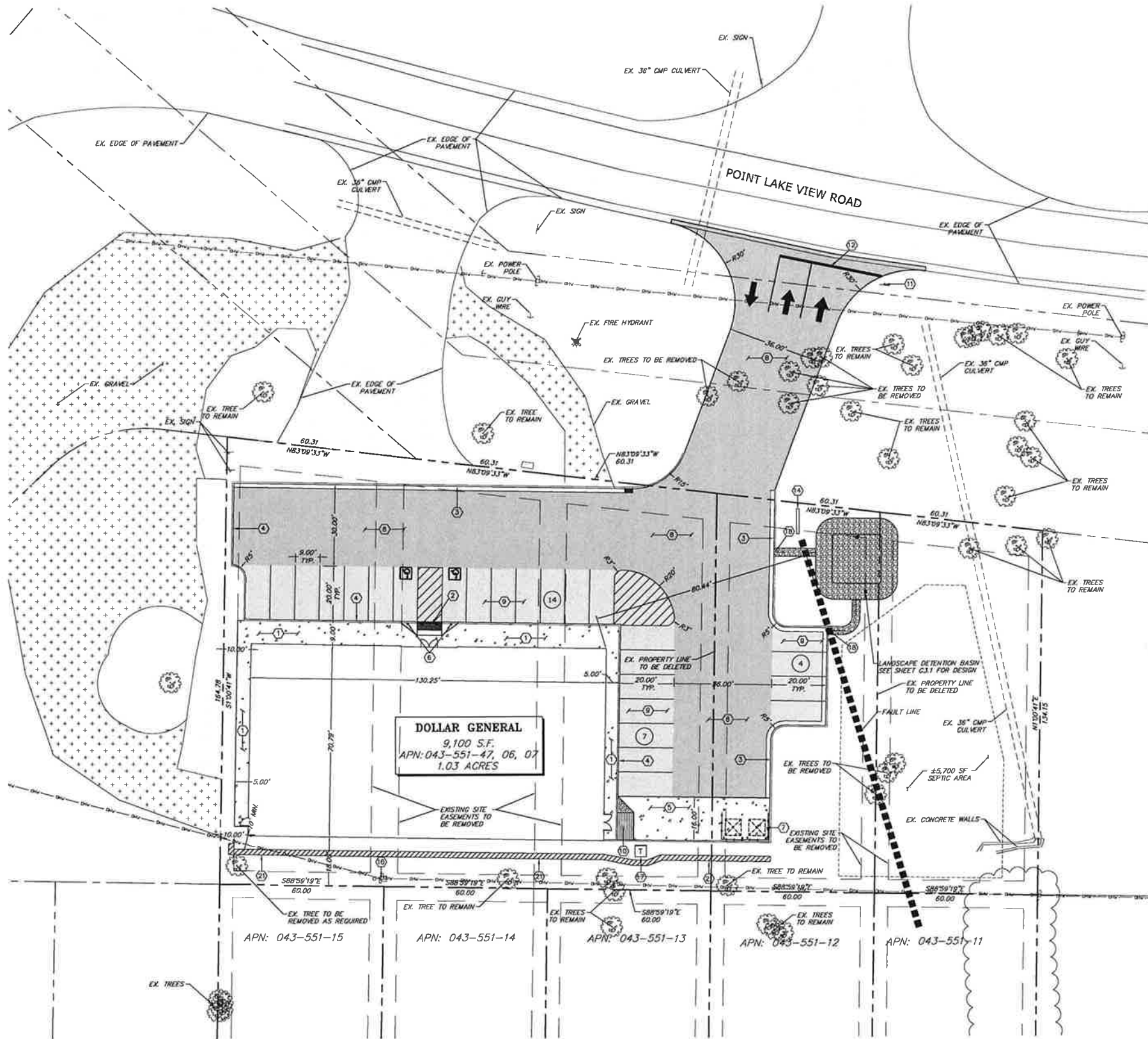


1"=20'-0" DOLLAR GENERAL 15233 C21



SITE PLAN
SCALE: 1" = 20'-0"



ATTACHMENT 2

C2.1

PROJECT LEGEND	
A.P.N.:	043-551-47, 06, 07
PARCEL ZONING:	C2- COMMUNITY COMMERCIAL
SITE SETBACKS:	
FRONT YARD:	= 0 FEET
SIDE YARD:	= 0 FEET
BACK YARD:	= 0 FEET

NOTES:

1. PERMANENT STRIPING, BIKE LANES, AND MARKINGS SHALL BE IN ACCORDANCE WITH THE "CALIFORNIA M.U.T.C.D."
2. PARKING SPACE LINES SHALL BE 4-INCH WIDE, WHITE STRIPES.
3. ACCESSIBLE VAN LOADING & UNLOADING ACCESS AISLE SHALL BE MARKED BY A BORDER PAINTED BLUE. WITHIN THE BLUE BORDER, HATCHED LINES A MAXIMUM OF 36" (914 mm) ON CENTER SHALL BE PAINTED A COLOR CONTRASTING WITH THE PARKING SURFACE, PREFERABLY BLUE ON WHITE. THE WORDS "NO PARKING" SHALL BE PAINTED ON THE GROUND WITHIN EACH 8' (2438 mm) LOADING AND UNLOADING ACCESS AISLE. THIS NOTICE SHALL BE PAINTED IN WHITE LETTERS NO LESS THAN 12" (305mm) HIGH AND LOCATED SO THAT IT IS VISIBLE TO TRAFFIC ENFORCEMENT OFFICIALS. REQUIREMENTS TO CONFORM TO TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS.
4. PARKING STALL INSTALLATION AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE CALIFORNIA M.U.T.C.D.
5. ALL EXTERIOR CONCRETE EXPOSED TO FREEZING AND THAWING CONDITIONS SHOULD BE RATED AT 4,000 PSI MINIMUM. AIR ENTRAINMENT ADJUSTMENT TO RESULT IN 4.5% - 7.5% AIR CONTENT.

CONSTRUCTION NOTES:

1. CONSTRUCT SIDEWALK
2. CONSTRUCT ACCESSIBLE RAMP AND STALL
3. CONSTRUCT TYPE 1 P.C.C. CURB & GUTTER
4. CONSTRUCT P.C.C. MEDIAN CURB
5. CONSTRUCT 6" CONCRETE SECTION OVER 6" CLASS 2 AGGREGATE BASE
6. INSTALL ACCESSIBLE PARKING STALL SIGNAGE/6" BOLLARD
7. INSTALL TRASH ENCLOSURE
8. CONSTRUCT HEAVY ASPHALT SECTION OF 4" ASPHALTIC CONCRETE PAVEMENT, PG 70-10 OVER 8" CLASS 2 AGGREGATE BASE
9. CONSTRUCT LIGHT ASPHALT SECTION OF 3" ASPHALTIC CONCRETE PAVEMENT, PG 70-10 OVER 8" CLASS 2 AGGREGATE BASE
10. CONSTRUCT DELIVERY RAMP
11. INSTALL TYPE R1-1 30"x30" STOP SIGN
12. CONSTRUCT 12" WIDE WHITE STOP BAR AND STOP LEGEND
13. INSTALL "UNAUTHORIZED PARKING AS PER CBC 1129B.4 & CONSTRUCT SIGN BASE AND POLE AS PER DETAIL 5, SHEET C6.3.
14. LIGHTED SITE Pylon SIGN WITH UNDERGROUND ELECTRICAL, COORDINATE WITH ELECTRICAL.
15. INSTALL SITE LIGHTING, COORDINATE LOCATION AND SIZE WITH LIGHTING PLANS.
16. EXISTING POLE TO BE RELOCATED TO PROVIDE 10' MINIMUM CLEARANCE FROM BUILDING TO OVERHEAD LINES. COORDINATE LOCATION & DESIGN WITH LOCAL ENERGY PROVIDER.
17. CONSTRUCT TRANSFORMER & PAD, COORDINATE SIZE & FINAL LOCATION WITH ENERGY PURVEYOR
18. INSTALL CURB OPENING
19. CONSTRUCT BITUMINOUS PAVEMENT PATCH
20. INSTALL SIDEWALK CROSS DRAIN
21. PROPOSED KEYSTONE RETAINING WALL TO BE PROVIDED AS A DESIGN BUILD BY THE CONTRACTOR.

TECTONICS
DESIGN GROUP

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Dollar General
Kelseyville, CA

CROSS DEVELOPMENT, LLC
17430 CAMPBELL ROAD, SUITE 225, DALLAS, TEXAS 75252

PROJECT/CLIENT:
#: 15233

DATE:
12/03/15

TITLE:
SUBMITTAL RECORD:

PROJECT/CLIENT:
SUBMITTAL

DESIGNER:
CHECKED/STAMPED:

STAMP:

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DESIGN

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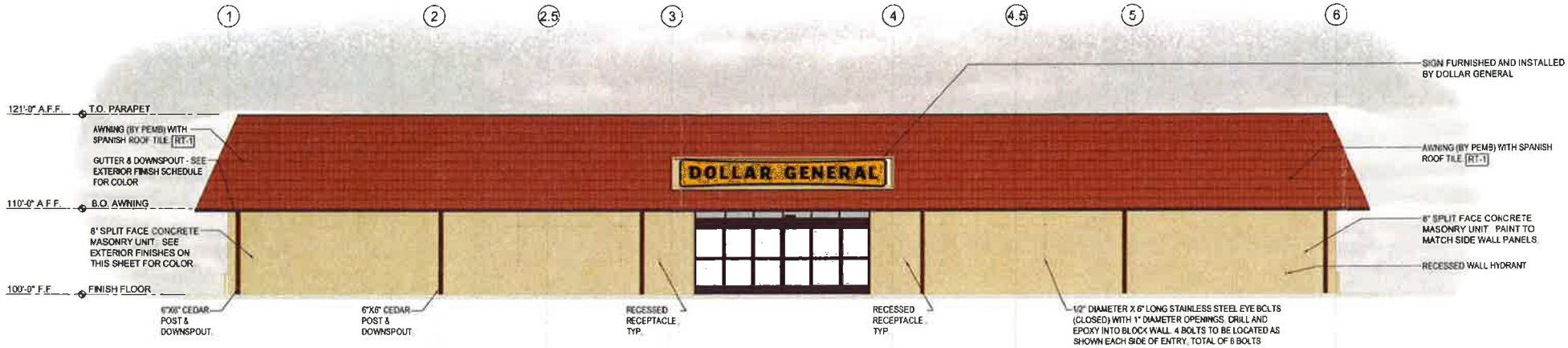
R.W.G.
R.W.G.

SITE PLAN

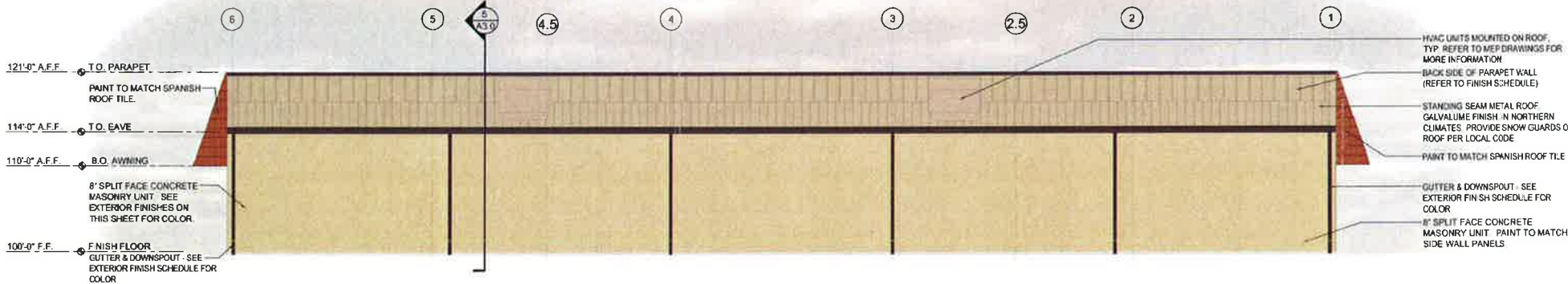
EXTERIOR FINISHES

EXTERIOR FINISHES ARE TO MATCH OR BE EQUAL TO CBC METAL BUILDING SYSTEMS FINISH SELECTION		CBC STEEL BUILDINGS					
		PEMB VENDOR	ATTN: ANSHUMAN SEHDEV (209) 963-0910				
GUTTERS, LEADERS AND DOWNSPOUTS		8" SPLIT FACE CONCRETE MASONRY UNIT		8" SPLIT FACE CONCRETE MASONRY UNIT		8" SPLIT FACE CONCRETE MASONRY UNIT	
AWNING TRIM, PARAPET CAP & TRIM		8" SPLIT FACE CONCRETE MASONRY UNIT		8" SPLIT FACE CONCRETE MASONRY UNIT		8" SPLIT FACE CONCRETE MASONRY UNIT	
REAR METAL WALL PANELS, BACK PARAPET		8" SPLIT FACE CONCRETE MASONRY UNIT		8" SPLIT FACE CONCRETE MASONRY UNIT		8" SPLIT FACE CONCRETE MASONRY UNIT	
FLAT METAL SOFFIT AT STOREFRONT VESTIBULE CEILING AND AWNING STOREFRONT SYSTEM		8" SPLIT FACE CONCRETE MASONRY UNIT		8" SPLIT FACE CONCRETE MASONRY UNIT		8" SPLIT FACE CONCRETE MASONRY UNIT	
STANDARD METAL ROOF PANELS		8" SPLIT FACE CONCRETE MASONRY UNIT		8" SPLIT FACE CONCRETE MASONRY UNIT		8" SPLIT FACE CONCRETE MASONRY UNIT	
STEEL ANGLE CANOPY FRAMING		8" SPLIT FACE CONCRETE MASONRY UNIT		8" SPLIT FACE CONCRETE MASONRY UNIT		8" SPLIT FACE CONCRETE MASONRY UNIT	

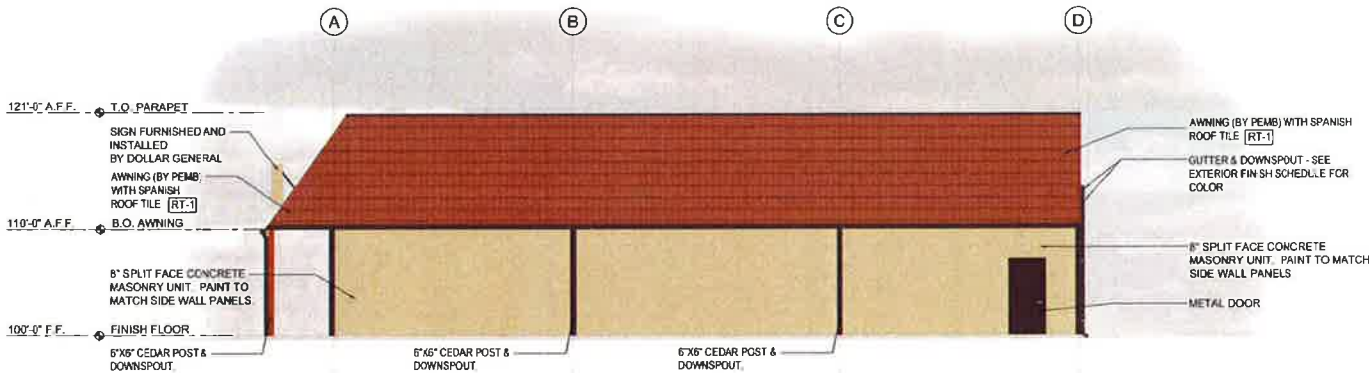
P-1	PAINT	RT-1	ROOF TILE
MANUFACTURER: SHERWIN WILLIAMS VENDOR CONTACT:		MANUFACTURER: LUDOWICI ROOF TILE VENDOR CONTACT:	
DESCRIPTION: PAINT COLOR: BALANCED BEIGE - SW 7037		DESCRIPTION: 6000 SERIES SPANISH ROOF TILE COLOR: ANZANI	
LOCATION: FIELD COLOR		LOCATION: CANOPY & ANGLE AWNING ROOF	
INSTALLATION NOTES: INSTALL PER MANUFACTURER'S RECOMMENDATIONS		INSTALLATION NOTES: INSTALL PER MANUFACTURER'S RECOMMENDATIONS	
P-2	PAINT		
MANUFACTURER: SHERWIN WILLIAMS VENDOR CONTACT:			
DESCRIPTION: PAINT COLOR: VAN DYKE BROWN - SW 7041			
LOCATION: RAISE FRONT PARAPET			
INSTALLATION NOTES: INSTALL PER MANUFACTURER'S RECOMMENDATIONS			



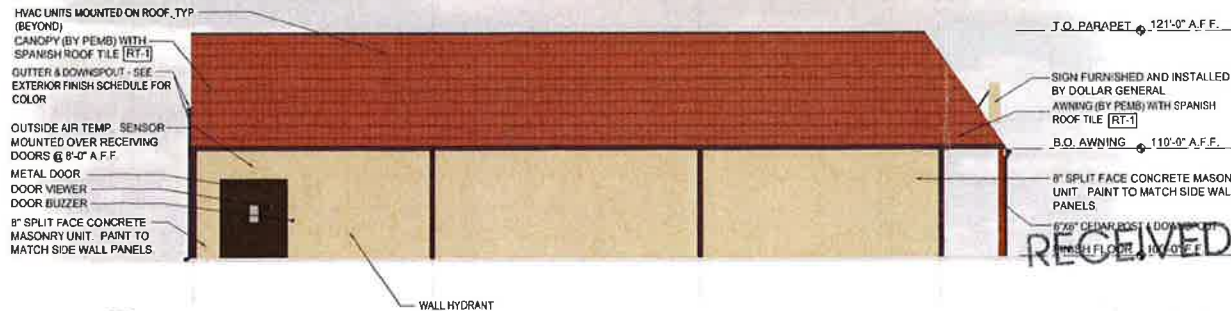
1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"



2 BACK ELEVATION
SCALE: 1/8" = 1'-0"



3 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



4 LEFT ELEVATION
SCALE: 1/8" = 1'-0"

ARCHITECT:
BRIAN RUMSEY
1255 W. 15TH. ST.
SUITE 125
PLANO, TEXAS 75075
PH: 972.398.6644
FAX: 972.312.8666

DOLLAR GENERAL
KELSEYVILLE, CA

PROJECT:
DOLLAR GENERAL
9781 POINT LAKEVIEW RD.
KELSEYVILLE, CA
LAKE COUNTY

REVISIONS

NO	DATE

DRAWINGS ISSUED FOR:
20JAN19, 80% DESIGN SET

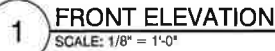
DATE:
02/01/2017

PROJ. NO.:
13082

SHEET NUMBER
A2.0
EXTERIOR
ELEVATIONS
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FEB 01 2017
LAKE COUNTY COMMUNITY
DEVELOPMENT DEPT.

EXTERIOR FINISHES

RT-1

FEB 01 2017
LAKE COUNTY COMMUNITY
DEVELOPMENT DEPT.

ARCHITECT:
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PLANO, TEXAS 75075
PH: 972.398.6644
FAX: 972.312.8666

**DOLLAR GENERAL
KELSEYVILLE, CA**

PROJECT:
DOLLAR GENERAL
9781 POINT LAKEVIEW RD.
KELSEYVILLE, CA
LAKE COUNTY

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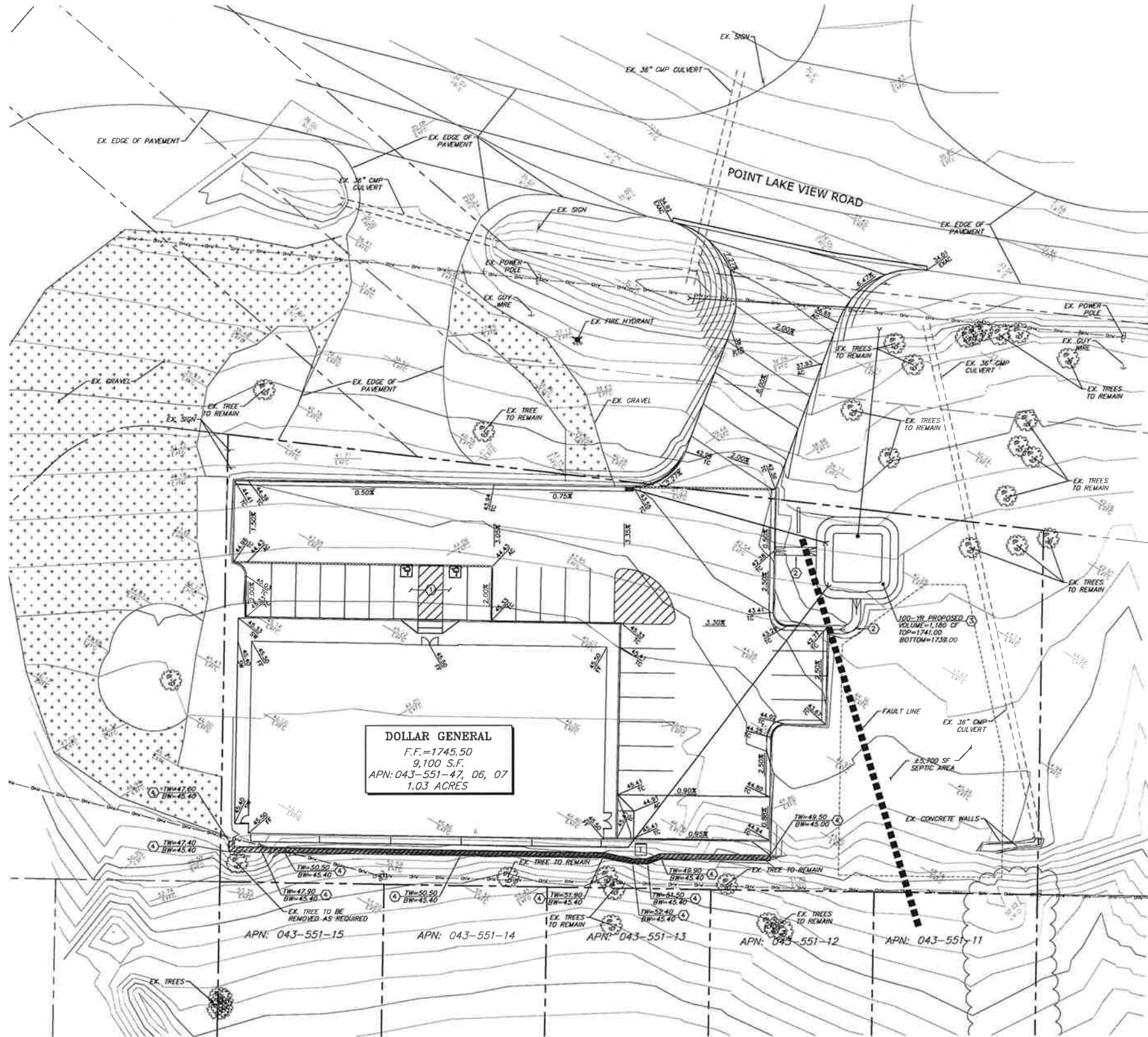
DRAWINGS ISSUED FOR:
20JAN15_80% DESIGN SET

DATE: 02/01/2017

PROJ. NO.: 13082

SHEET NUMBER
A2.0
EXTERIOR
ELEVATIONS
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1"=20'-0" DOLLAR GENERAL 15233 C31



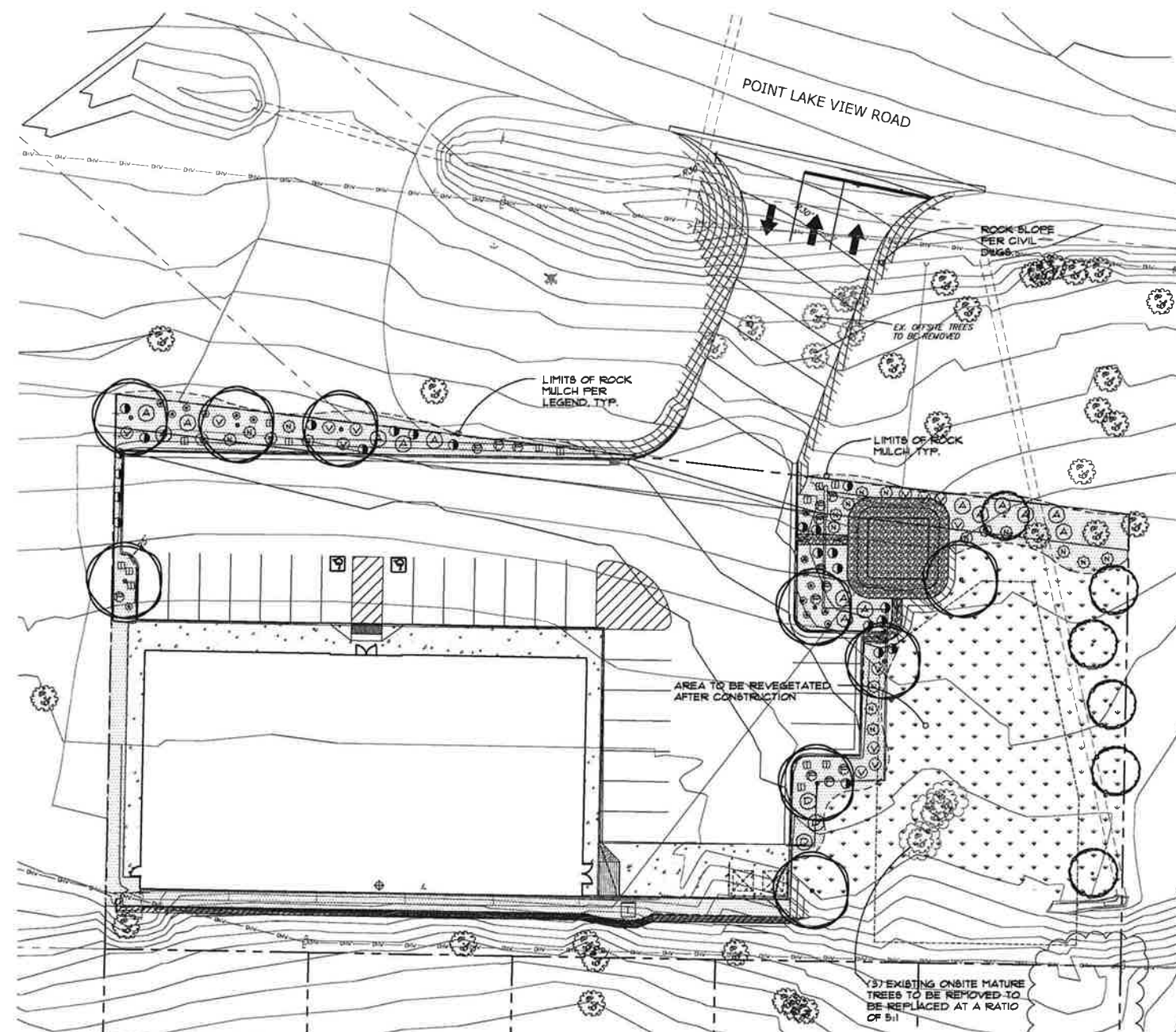
GRADING PLAN
SCALE: 1" = 20'-0"



NOTES:
1. ADD 1,700 TO ALL FINISHED GRADE OR INVERT ELEVATIONS

CONSTRUCTION NOTES:
1. ACCESSIBLE PARKING AND UNLOADING SPACES SHALL HAVE A MAXIMUM 2% SLOPE/CROSS SLOPE AS PER 2010 CBC1129N.3.4
2. INSTALL GROUTED RIPRAP LINED SWALE
3. CONSTRUCT LANDSCAPE DETENTION BASIN
4. PROPOSED RETAINING WALL TO BE PROVIDED AS A DESIGN BUILD BY THE CONTRACTOR

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DRAWN:	R.W.G	DESIGNED:	R.W.G
CHECKED/STAMPED:			
STAMP:	PRELIMINARY DESIGN		
DESIGNER:	TECTONICS DESIGN GROUP 10451 Double R Boulevard, Reno, NV 89521 Tel 775-824-9988 Fax 775-824-9986 www.tectonicsdesigngroup.com		
PROJECT/CLIENT:	Dollar General Kelseyville, CA CROSS DEVELOPMENT, LLC 17430 CAMPBELL ROAD, SUITE 225, DALLAS, TEXAS 75252		
DATE:	12/03/15	SUBMITTAL RECORD:	
SHEET TITLE:	GRADING PLAN		
SHEET:	C3.1		



LANDSCAPE NOTES:

- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES (IE: PAVING, PLUMBING, ELECTRICAL, ETC.)
- ALL GRADES SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE AFTER IRRIGATION MAINS AND FINAL GRADING IS COMPLETE PRIOR TO PLANTING.
- SOIL IN THE PLANTER AREAS SHALL BE AMENDED PER A SOIL ANALYSIS REPORT AND RECOMMENDATIONS PREPARED BY AN AGRICULTURAL SUITABILITY SOIL TESTING SERVICE. ALL SOIL ANALYSIS AND REPORTS SHALL SATISFY THE REQUIREMENTS OF 442.5 IN THE CALIFORNIA WATER EFFICIENT LANDSCAPE ORDINANCE FOR A SOIL MANAGEMENT REPORT. THE RESPONSIBILITY OF PREPARATION THIS REPORT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL SUBMIT THE REPORT TO THE GENERAL CONTRACTOR FOR SUBMITTAL TO THE CITY. SHRUB PLANTERS: COLLECT A MINIMUM OF 6 SOIL SAMPLES FROM ON-SITE PLANTER AREAS AFTER PLANTERS HAVE BEEN BROUGHT TO GRADE PER CIVIL DRAWINGS. THOROUGHLY MIX THE COLLECTED SAMPLES AND SUBMIT ONE MIXED SAMPLE FOR ANALYSIS WITH RECOMMENDATIONS FOR ORGANIC SOIL AMENDMENT. PLANTER AREA SOILS SHALL BE AMENDED PER THE SOIL ANALYSIS & RECOMMENDATIONS PRIOR TO PLANTING. LOOSEN SOIL TO A DEPTH OF 12" PRIOR TO AMENDING. SPREAD AMENDMENT AND INCORPORATE PER SOIL ANALYSIS RECOMMENDATIONS. RAKE OUT ALL ROCK AND DEBRIS GREATER THAN 1 1/2" DIA. RAKE TO AN EVEN GRADE. SOIL REPORT SHALL INCLUDE SOIL INFILTRATION RATE FOR IRRIGATION SCHEDULING. ALL PLANTS SHALL BE SPRAYED WITH VERMA-FLEX OR EQUAL ORGANIC FOLIAR FERTILIZER AFTER INSTALLATION. SOIL SHALL NOT BE TILLED OR AMENDED WITHIN THE DRIP LINE OF EXISTING TREES. A COPY OF THE SOIL ANALYSIS SHALL BE SUBMITTED TO THE OWNER AND THE CITY ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING PLANT MATERIAL PER SYMBOLS AND SPACING INDICATED ON THE PLAN. SYMBOLS PREVAIL OVER QUANTITIES LISTED IN THE PLANT LEGEND.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PROVIDE PLANT MATERIAL AS SPECIFIED ON THIS PLAN. THE CONTRACTOR MAY SUBMIT A REQUEST TO PROVIDE SUBSTITUTIONS FOR THE SPECIFIED PLANT MATERIAL UNDER THE FOLLOWING CONDITIONS:
A. ANY SUBSTITUTIONS PROPOSED SHALL BE SUBMITTED TO THE COUNTY OF LAKE COUNTY DEVELOPMENT AND THE OWNER'S REPRESENTATIVE WITHIN TWO WEEKS OF THE AWARD OF CONTRACT. SUBSTITUTIONS MUST MEET EQUIVALENT DESIGN AND FUNCTIONAL GOALS OF THE ORIGINAL PLANT MATERIAL AS DETERMINED BY THE LANDSCAPE ARCHITECT.
B. THE REQUEST MUST BE ACCOMPANIED BY AT LEAST THREE NOTICES FROM PLANT SUPPLIERS THAT THE PLANT MATERIAL SPECIFIED IS NOT AVAILABLE PRIOR TO THE CONSTRUCTION PHASE.
- ALL PLANTS NOT MEETING OR EXCEEDING REQUIREMENTS AND RECOMMENDATIONS OF ANSI 2601 'AMERICAN STANDARD FOR NURSERY STOCK' AND THE STATE OF CALIFORNIA GRADING CODE FOR PLANT STOCK SHALL BE REJECTED. THE CONTRACTOR SHALL RECEIVE ON-SITE APPROVAL OF PLANT MATERIAL BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING. FAILURE TO RECEIVE APPROVAL PRIOR TO PLANTING MAY RESULT IN REJECTION AND THE CONTRACTOR SHALL REPLACE ALL REJECTED PLANT MATERIAL AT HIS EXPENSE. THE OWNER RESERVES THE RIGHT TO INSPECT AND EVALUATE PLANT MATERIAL THROUGHOUT THE CONSTRUCTION AND MAINTENANCE PERIOD.
THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE OWNER A MIN. OF 48 HOURS IN ADVANCE FOR THE FOLLOWING SITE OBSERVATIONS AND/OR MEETINGS:
A. PRECONSTRUCTION MEETING WITH ALL PARTIES.
B. PLANT MATERIAL ON SITE, PRIOR TO INSTALLATION.
C. PLANT LOCATIONS STAKED, PRIOR TO PLANTING.
D. FINAL PROJECT WALK-THROUGH.
- ALL PLANT SUBSTITUTIONS SHALL BE REVIEWED AND ACTION TAKEN BY THE LANDSCAPE ARCHITECT. ALL PLANT MATERIAL SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND THE CITY PRIOR TO PLANTING. THE CONTRACTOR SHALL NOTIFY THE OWNER FOR PLANT REVIEW AND APPROVAL 48 HRS. PRIOR TO DELIVERY. ANY MATERIAL NOT ACCEPTABLE SHALL BE REMOVED IMMEDIATELY FROM THE SITE. THE OWNER'S REPRESENTATIVE MAY AT ANYTIME UNTIL FINAL ACCEPTANCE DIRECT THE CONTRACTOR TO REMOVE UNACCEPTABLE MATERIAL WITHOUT COST TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE FULL YEAR UPON FINAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL MAINTAIN THE SITE INCLUDING WATER SCHEDULING FOR THE ONE YEAR GUARANTEE PERIOD. ANY PLANTS REPLACED UNDER THIS GUARANTEE SHALL BE GUARANTEED FOR ONE FULL YEAR FROM THE DATE OF REPLACEMENT.
- REMOVE ALL WEEDS AND DEBRIS IN AND AROUND NEWLY INSTALLED PLANT MATERIAL AND EXISTING PLANT MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL INSURE POSITIVE DRAINAGE IN ALL PLANTER AREAS PER CIVIL ENGINEER'S GRADING PLAN AFTER LANDSCAPE IMPROVEMENTS ARE COMPLETE.
- MULCH ALL PLANTING SAUCERS WITH THREE INCHES (3") MINIMUM DEPTH OF CHIPPED OR SHREDDED MULCH. REFER TO LEGEND THIS SHEET.
- ALL SHRUBS WILL BE ON A TIMER CONTROLLED DRIP IRRIGATION SYSTEM PER THE IRRIG. PLAN. ALL PLANT MATERIAL IS SPECIFIED FOR LOW WATER USE AND DROUGHT TOLERANCE.
- ROOT BARRIERS SHALL BE INSTALLED ADJACENT TO ALL TREES WITHIN 6' OF PAVING 8' FROM THE CENTER OF THE TREE PER DETAIL SHEET L3.1.

PLANT LIST: WATER REGIME LISTED IS PER WUCOLS REGION 2

SYM. NO.	BOTANICAL NAME	COMMON NAME	SIZE	WATER REGIME /ZONE	MATURE HABIT H x W
EXISTING TREE TO REMAIN					
EXISTING TREE TO BE REMOVED TO BE REPLACED AT A RATIO OF 5:1 (3 TREES REQUIRED) IS NEW SITE TREES PROPOSED PER PLAN.					
TREES					
6	Pinus ELDARICA	PINE	15 GAL. 6' MIN. HT.	L	40 X 40
9	QUERCUS DOUGLASSII	BLUE OAK	15 GAL. 125' CAL.	L	22 X 12
SHRUBS					
G	GENISTA P. 'GOLD FLASH'	BROOMS	5 GAL.	L	1 X 2
V	PEROVSKIA A. 'BLUE SPIRE'	RUSSIAN SAGE	5 GAL.	L	3 X 3
N	CISTUS X 'PURPUREA'	ROCK ROSE	5 GAL.	L	4 X 4
A	ARCTOSTAPHYLOS U. 'GREEN SUPREME'	MANZANITA	5 GAL.	L	1 X 5
P	PHORMIUM T. 'DUET'	NEW ZEALAND FLAX	5 GAL.	L	3 X 3
D	DODONAEA PURPUREA	HOPSEED	5 GAL.	L	10 X 6
PERENNIALS					
2	NEPETA 'WALKERS LOW'	CATMINT	1 GAL.	L	1 X 2
12	OENOTHERA SPECIOSA	MEXICAN PRIMROSE	1 GAL.	L	1 X 2
GRASSES					
23	MISCANTHUS B. 'ADIAGO'	MAIDEN GRASS	1 GAL.	L	3 X 3
13	HELIOTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GAL.	L	2 X 2

LANDSCAPE LEGEND

- ROCK RIP RAP PER CIVIL DMS.
- ROCK MULCH - 3" MIN. DEPTH OF 1 1/2" ROCK GRAY. ALL PLANTER AREAS AS SHOWN. ROCK AVAILABLE FROM LOCAL SOURCE. PLACE OVER DENTIT PRO 5 OR EQUAL NEED BARRIER FABRIC. PLACE 3" DEPTH OF SHREDDED CEDAR OR PINE MULCH IN PLANT BASINS. INSTALL NEED BARRIER FABRIC PER MFG. DIRECTION.
- REVEGETED AREA: SEED WITH CALIFORNIA NATIVE GRASS MIX AVAILABLE FROM PACIFIC COAST SEED, LIVERMORE, CA.
- NOT SHOWN: BARK MULCH-3" MIN. DEPTH OF SHREDDED BARK MULCH ALL PLANT BASINS ONLY. REFER PLANTING DETAILS SHEET L-3.1.

SUBMIT SAMPLE OF FABRIC AND MULCH FOR APPROVAL. ALL ROCK SHALL BE SCREENED FOR DIRT AND DEBRIS PRIOR TO DELIVERY TO THE SITE.

ALL PLANT MATERIAL IS ZONED BY WATER REQUIREMENTS. PLANTS ARE SPECIFIED WITH LOW WATER REQUIREMENTS FOR WATER CONSERVATION. PLANTS ARE PLACED TO ALLOW FOR GROWTH TO THEIR NATURAL SHAPE TO MINIMIZE MAINTENANCE.

LANDSCAPE REQUIREMENTS

TOTAL PARKING AREA: 15,401 S.F.
PARKING AREA LANDSCAPE REQUIRED: 770 S.F. (5%)
PARKING AREA LANDSCAPE PROVIDED: 1,650 S.F. (11%)
MINIMUM FRONTAGE LANDSCAPE REQUIRED 10' (248 L.F.): 2,480 S.F.
FRONTAGE LANDSCAPE PROVIDED: 2,567 S.F.
TOTAL LANDSCAPE REQUIRED: 3,150 S.F.
TOTAL LANDSCAPE PROVIDED: 4,017 S.F.

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