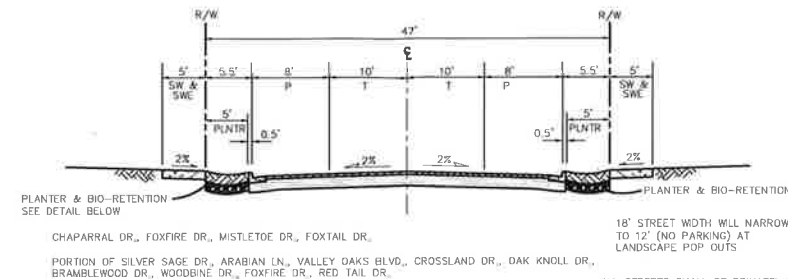


VALLEY OAKS VESTING TENTATIVE SUBDIVISION MAP

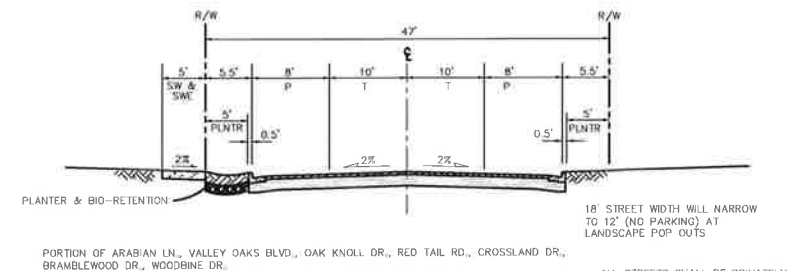
AND SPECIFIC PLAN OF DEVELOPMENT



47' STREET

WITH SIDEWALK ON BOTH SIDES

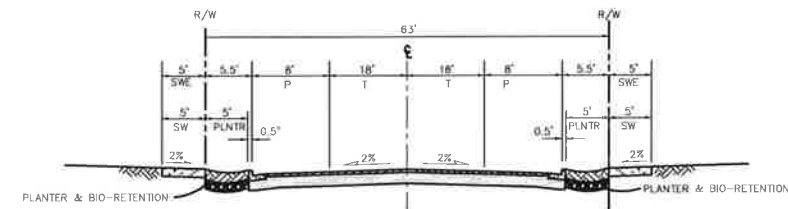
NO SCALE



47' STREET

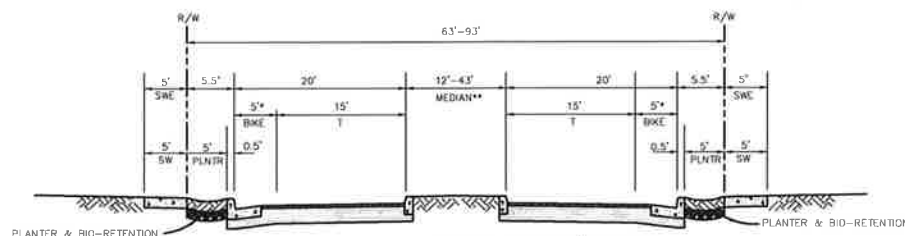
WITH SIDEWALK ON ONE SIDE

NO SCALE



63' STREET

NO SCALE



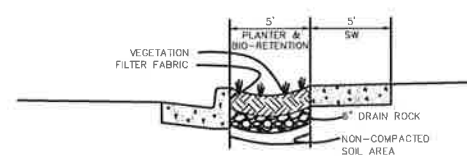
OAK MEADOW DR.

PORTION OF VALLEY OAKS BLVD., ARABIAN LANE & SILVER SAGE DRIVE

STREET WITH MEDIAN

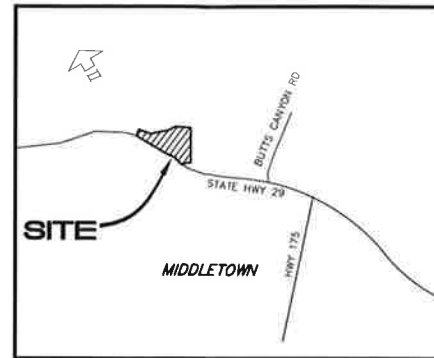
ALL STREETS SHALL BE PRIVATELY OWNED AND MAINTAINED BY A HOMEOWNER'S ASSOCIATION (HOA).

NO SCALE



VEGETATED BIO-RETENTION SWALE BETWEEN STREET AND SIDEWALK

NO SCALE



LOCATION MAP

NO SCALE

OWNER/DEVELOPER

VALLEY OAKS LAND & DEVELOPMENT, INC.
KEN PORTER
P.O. BOX 7129
SANTA ROSA, CA 95407
(707) 310-3472

ENGINEER THROUGH 3-3-17

ANDREW BORDESSA, R.C.E. 34388
CIVIL DESIGN CONSULTANTS, INC.
2200 RANGE AVENUE, SUITE 204
SANTA ROSA, CA 95403
(707) 542-4820

SURVEYOR THROUGH 3-3-17

CINQUINI & PASSARINO, INC.
1360 NORTH DUTTON AVE., STE 150
SANTA ROSA, CA 95401
(707) 542-8288

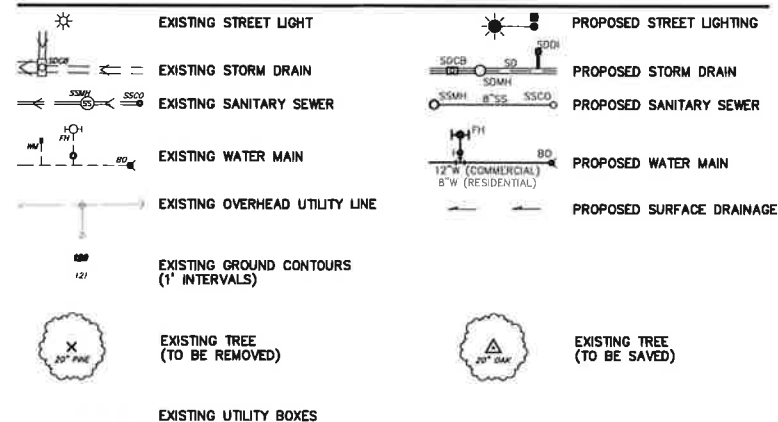
ENGINEER FROM 4-1-17 FORWARD

CLIFFORD D. RUZICKA, R.C.E. 14981
RUZICKA ASSOCIATES
2495 PARALLEL DRIVE
LAKEPORT, CA 95453
(707) 283-6155

SURVEYOR FROM 4-1-17 FORWARD

GEORGE NYSTROM, P.L.S. B108
RUZICKA ASSOCIATES
2495 PARALLEL DRIVE
LAKEPORT, CA 95453
(707) 283-6155

LEGEND



FINAL CERTIFIED ENVIRONMENTAL IMPACT REPORT

- FINAL ENVIRONMENTAL IMPACT REPORT WAS CERTIFIED BY THE COUNTY OF LAKE BOARD OF SUPERVISORS ON 8/24/2015
- ALL DEVELOPMENT AND CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE MITIGATED MEASURES ADOPTED IN THE FINAL E.I.R. WHICH ARE ATTACHED HERETO AND MADE PART OF THIS TENTATIVE SUBDIVISION MAP AND SPECIFIC PLAN OF DEVELOPMENT

GENERAL NOTES

THIS MAP SHALL COMPLY WITH THE STATE WATER RESOURCES CONTROL BOARD NPDES CONSTRUCTION GENERAL PERMIT, CURRENT AT THE TIME OF CONSTRUCTION.

CURRENT ZONING: PDR AND PDC

CURRENT GENERAL PLAN: RESIDENTIAL AND COMMUNITY COMMERCIAL

EXISTING IMPROVEMENTS: HORSE RANCH: BARN, CORRALS, RESIDENTIAL BLDGS. BURNED IN VALLEY FIRE, SEPTEMBER 2015

WATER: HIDDEN VALLEY LAKE COMMUNITY SERVICES DISTRICT

SEWAGE: HIDDEN VALLEY LAKE COMMUNITY SERVICES DISTRICT

DRAINAGE: VALLEY OAKS HOMEOWNERS ASSOCIATION

ROADS: VALLEY OAKS HOMEOWNERS ASSOCIATION

GAS: NONE

ELECTRIC: PACIFIC GAS & ELECTRIC

TELEPHONE: AT & T

FIRE: SOUTH LAKE COUNTY FIRE PROTECTION DISTRICT

SCHOOL: MIDDLETOWN UNIFIED SCHOOL DISTRICT

PARKS & RECREATION: NONE

FEMA: ZONE AD (SHALLOW FLOODING, 1' OR LESS)

SPECIAL DISTRICTS: NONE

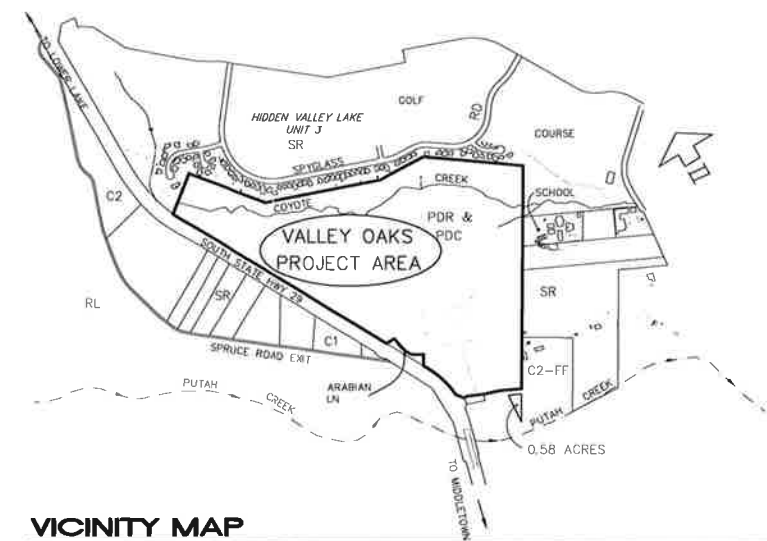
SINGLE FAMILY RESIDENTIAL LOTS:	380	COMMON AREA PARCELS:	3
55 UNIT MEDIUM DENSITY RESIDENTIAL LOT	1	PARKS:	3
53 UNIT MULTIFAMILY RESIDENTIAL SENIOR LOT	1		
COMMERCIAL DEVELOPMENT LOTS:	6		

RESIDENTIAL LOTS: (380)		COMMERCIAL LOTS: (6)	
MINIMUM LOT SIZE:	6,000 SF	MINIMUM LOT SIZE:	2.02 ACRES
MAXIMUM LOT SIZE:	11,574 SF	MAXIMUM LOT SIZE:	8.47 ACRES
AVERAGE LOT SIZE:	6,832 SF	AVERAGE LOT SIZE:	5.16 ACRES

PHASING:			
PHASE 1:	LOTS 1-73	PHASE 4:	LOTS 201-250
PHASE 2:	LOTS 74-117, 138-140, 303-320	PHASE 5:	LOTS 171-200, 251-271, 335-352
PHASE 3:	LOTS 118-137, 141-170, 321-334	PHASE 6:	LOTS 272-302, 353-380

INDEX OF DRAWINGS

- COVER SHEET, TYPICAL STREET SECTIONS, LEGEND AND NOTES
- OVERALL SITE PLAN AND PROJECT FEATURES
- OVERALL SITE PLAN AND PROJECT ANALYSIS
- SITE PLAN - TENTATIVE SUBDIVISION AND SPECIFIC PLAN OF DEVELOPMENT
- PRELIMINARY GRADING, DRAINAGE AND UTILITY PLAN FOR COMMERCIAL PARCELS
- PRELIMINARY GRADING, DRAINAGE AND UTILITY PLAN FOR PHASE 1
- PRELIMINARY GRADING, DRAINAGE AND UTILITY PLAN FOR PHASE 2 & 3
- PRELIMINARY GRADING, DRAINAGE AND UTILITY PLAN FOR PHASE 4 & 5
- PRELIMINARY GRADING, DRAINAGE AND UTILITY PLAN FOR PHASE 6



VICINITY MAP

SCALE: 1"=1000'
REV. #3 8-8-17

RUZICKA ASSOCIATES
CONSULTING ENGINEERS
2495 PARALLEL DRIVE
LAKEPORT, CA 95453
(707) 283-6155



CIVIL DESIGN CONSULTANTS, INC.
2200 RANGE AVENUE, SUITE 204
SANTA ROSA, CA 95403
(707) 542-4820

VESTING TENTATIVE MAP AND SPECIFIC PLAN OF DEVELOPMENT
COVER SHEET
VALLEY OAKS SUBDIVISION
18196 AND 18426 SOUTH STATE HWY 29
MIDDLETOWN, CALIFORNIA
COUNTY OF LAKE
REVISION #3 8-8-17
150.34 ACRES
APN 044-280-006, 051
052, 053, 054, 055
056, 057, 058, 059
060, 061, 062, 063
064, 065, 066, 067
068, 069, 070, 071
072, 073, 074, 075
076, 077, 078, 079
080, 081, 082, 083
084, 085, 086, 087
088, 089, 090, 091
092, 093, 094, 095
096, 097, 098, 099
100, 101, 102, 103
104, 105, 106, 107
108, 109, 110, 111
112, 113, 114, 115
116, 117, 118, 119
120, 121, 122, 123
124, 125, 126, 127
128, 129, 130, 131
132, 133, 134, 135
136, 137, 138, 139
140, 141, 142, 143
144, 145, 146, 147
148, 149, 150, 151
152, 153, 154, 155
156, 157, 158, 159
160, 161, 162, 163
164, 165, 166, 167
168, 169, 170, 171
172, 173, 174, 175
176, 177, 178, 179
180, 181, 182, 183
184, 185, 186, 187
188, 189, 190, 191
192, 193, 194, 195
196, 197, 198, 199
200, 201, 202, 203
204, 205, 206, 207
208, 209, 210, 211
212, 213, 214, 215
216, 217, 218, 219
220, 221, 222, 223
224, 225, 226, 227
228, 229, 230, 231
232, 233, 234, 235
236, 237, 238, 239
240, 241, 242, 243
244, 245, 246, 247
248, 249, 250, 251
252, 253, 254, 255
256, 257, 258, 259
260, 261, 262, 263
264, 265, 266, 267
268, 269, 270, 271
272, 273, 274, 275
276, 277, 278, 279
280, 281, 282, 283
284, 285, 286, 287
288, 289, 290, 291
292, 293, 294, 295
296, 297, 298, 299
300, 301, 302, 303
304, 305, 306, 307
308, 309, 310, 311
312, 313, 314, 315
316, 317, 318, 319
320, 321, 322, 323
324, 325, 326, 327
328, 329, 330, 331
332, 333, 334, 335
336, 337, 338, 339
340, 341, 342, 343
344, 345, 346, 347
348, 349, 350, 351
352, 353, 354, 355
356, 357, 358, 359
360, 361, 362, 363
364, 365, 366, 367
368, 369, 370, 371
372, 373, 374, 375
376, 377, 378, 379
380, 381, 382, 383
384, 385, 386, 387
388, 389, 390, 391
392, 393, 394, 395
396, 397, 398, 399
400, 401, 402, 403
404, 405, 406, 407
408, 409, 410, 411
412, 413, 414, 415
416, 417, 418, 419
420, 421, 422, 423
424, 425, 426, 427
428, 429, 430, 431
432, 433, 434, 435
436, 437, 438, 439
440, 441, 442, 443
444, 445, 446, 447
448, 449, 450, 451
452, 453, 454, 455
456, 457, 458, 459
460, 461, 462, 463
464, 465, 466, 467
468, 469, 470, 471
472, 473, 474, 475
476, 477, 478, 479
480, 481, 482, 483
484, 485, 486, 487
488, 489, 490, 491
492, 493, 494, 495
496, 497, 498, 499
500, 501, 502, 503
504, 505, 506, 507
508, 509, 510, 511
512, 513, 514, 515
516, 517, 518, 519
520, 521, 522, 523
524, 525, 526, 527
528, 529, 530, 531
532, 533, 534, 535
536, 537, 538, 539
540, 541, 542, 543
544, 545, 546, 547
548, 549, 550, 551
552, 553, 554, 555
556, 557, 558, 559
560, 561, 562, 563
564, 565, 566, 567
568, 569, 570, 571
572, 573, 574, 575
576, 577, 578, 579
580, 581, 582, 583
584, 585, 586, 587
588, 589, 590, 591
592, 593, 594, 595
596, 597, 598, 599
600, 601, 602, 603
604, 605, 606, 607
608, 609, 610, 611
612, 613, 614, 615
616, 617, 618, 619
620, 621, 622, 623
624, 625, 626, 627
628, 629, 630, 631
632, 633, 634, 635
636, 637, 638, 639
640, 641, 642, 643
644, 645, 646, 647
648, 649, 650, 651
652, 653, 654, 655
656, 657, 658, 659
660, 661, 662, 663
664, 665, 666, 667
668, 669, 670, 671
672, 673, 674, 675
676, 677, 678, 679
680, 681, 682, 683
684, 685, 686, 687
688, 689, 690, 691
692, 693, 694, 695
696, 697, 698, 699
700, 701, 702, 703
704, 705, 706, 707
708, 709, 710, 711
712, 713, 714, 715
716, 717, 718, 719
720, 721, 722, 723
724, 725, 726, 727
728, 729, 730, 731
732, 733, 734, 735
736, 737, 738, 739
740, 741, 742, 743
744, 745, 746, 747
748, 749, 750, 751
752, 753, 754, 755
756, 757, 758, 759
760, 761, 762, 763
764, 765, 766, 767
768, 769, 770, 771
772, 773, 774, 775
776, 777, 778, 779
780, 781, 782, 783
784, 785, 786, 787
788, 789, 790, 791
792, 793, 794, 795
796, 797, 798, 799
800, 801, 802, 803
804, 805, 806, 807
808, 809, 810, 811
812, 813, 814, 815
816, 817, 818, 819
820, 821, 822, 823
824, 825, 826, 827
828, 829, 830, 831
832, 833, 834, 835
836, 837, 838, 839
840, 841, 842, 843
844, 845, 846, 847
848, 849, 850, 851
852, 853, 854, 855
856, 857, 858, 859
860, 861, 862, 863
864, 865, 866, 867
868, 869, 870, 871
872, 873, 874, 875
876, 877, 878, 879
880, 881, 882, 883
884, 885, 886, 887
888, 889, 890, 891
892, 893, 894, 895
896, 897, 898, 899
900, 901, 902, 903
904, 905, 906, 907
908, 909, 910, 911
912, 913, 914, 915
916, 917, 918, 919
920, 921, 922, 923
924, 925, 926, 927
928, 929, 930, 931
932, 933, 934, 935
936, 937, 938, 939
940, 941, 942, 943
944, 945, 946, 947
948, 949, 950, 951
952, 953, 954, 955
956, 957, 958, 959
960, 961, 962, 963
964, 965, 966, 967
968, 969, 970, 971
972, 973, 974, 975
976, 977, 978, 979
980, 981, 982, 983
984, 985, 986, 987
988, 989, 990, 991
992, 993, 994, 995
996, 997, 998, 999
1000, 1001, 1002, 1003
1004, 1005, 1006, 1007
1008, 1009, 1010, 1011
1012, 1013, 1014, 1015
1016, 1017, 1018, 1019
1020, 1021, 1022, 1023
1024, 1025, 1026, 1027
1028, 1029, 1030, 1031
1032, 1033, 1034, 1035
1036, 1037, 1038, 1039
1040, 1041, 1042, 1043
1044, 1045, 1046, 1047
1048, 1049, 1050, 1051
1052, 1053, 1054, 1055
1056, 1057, 1058, 1059
1060, 1061, 1062, 1063
1064, 1065, 1066, 1067
1068, 1069, 1070, 1071
1072, 1073, 1074, 1075
1076, 1077, 1078, 1079
1080, 1081, 1082, 1083
1084, 1085, 1086, 1087
1088, 1089, 1090, 1091
1092, 1093, 1094, 1095
1096, 1097, 1098, 1099
1100, 1101, 1102, 1103
1104, 1105, 1106, 1107
1108, 1109, 1110, 1111
1112, 1113, 1114, 1115
1116, 1117, 1118, 1119
1120, 1121, 1122, 1123
1124, 1125, 1126, 1127
1128, 1129, 1130, 1131
1132, 1133, 1134, 1135
1136, 1137, 1138, 1139
1140, 1141, 1142, 1143
1144, 1145, 1146, 1147
1148, 1149, 1150, 1151
1152, 1153, 1154, 1155
1156, 1157, 1158, 1159
1160, 1161, 1162, 1163
1164, 1165, 1166, 1167
1168, 1169, 1170, 1171
1172, 1173, 1174, 1175
1176, 1177, 1178, 1179
1180, 1181, 1182, 1183
1184, 1185, 1186, 1187
1188, 1189, 1190, 1191
1192, 1193, 1194, 1195
1196, 1197, 1198, 1199
1200, 1201, 1202, 1203
1204, 1205, 1206, 1207
1208, 1209, 1210, 1211
1212, 1213, 1214, 1215
1216, 1217, 1218, 1219
1220, 1221, 1222, 1223
1224, 1225, 1226, 1227
1228, 1229, 1230, 1231
1232, 1233, 1234, 1235
1236, 1237, 1238, 1239
1240, 1241, 1242, 1243
1244, 1245, 1246, 1247
1248, 1249, 1250, 1251
1252, 1253, 1254, 1255
1256, 1257, 1258, 1259
1260, 1261, 1262, 1263
1264, 1265, 1266, 1267
1268, 1269, 1270, 1271
1272, 1273, 1274, 1275
1276, 1277, 1278, 1279
1280, 1281, 1282, 1283
1284, 1285, 1286, 1287
1288, 1289, 1290, 1291
1292, 1293, 1294, 1295
1296, 1297, 1298, 1299
1300, 1301, 1302, 1303
1304, 1305, 1306, 1307
1308, 1309, 1310, 1311
1312, 1313, 1314, 1315
1316, 1317, 1318, 1319
1320, 1321, 1322, 1323
1324, 1325, 1326, 1327
1328, 1329, 1330, 1331
1332, 1333, 1334, 1335
1336, 1337, 1338, 1339
1340, 1341, 1342, 1343
1344, 1345, 1346, 1347
1348, 1349, 1350, 1351
1352, 1353, 1354, 1355
1356, 1357, 1358, 1359
1360, 1361, 1362, 1363
1364, 1365, 1366, 1367
1368, 1369, 1370, 1371
1372, 1373, 1374, 1375
1376, 1377, 1378, 1379
1380, 1381, 1382, 1383
1384, 1385, 1386, 1387
1388, 1389, 1390, 1391
1392, 1393, 1394, 1395
1396, 1397, 1398, 1399
1400, 1401, 1402, 1403
1404, 1405, 1406, 1407
1408, 1409, 1410, 1411
1412, 1413, 1414, 1415
1416, 1417, 1418, 1419
1420, 1421, 1422, 1423
1424, 1425, 1426, 1427
1428, 1429, 1430, 1431
1432, 1433, 1434, 1435
1436, 1437, 1438, 1439
1440, 1441, 1442, 1443
1444, 1445, 1446, 1447
1448, 1

PROJECT FEATURES

total site area (150 acre)

- COMMERCIAL DEVELOPMENT AREA (PDC)
village commercial | grocery store | theater complex | retail shops | post office | medical | offices | professional offices | commercial open space
- RESIDENTIAL CARE FACILITY (PDC)
assisted living and residential care facility
- LOW DENSITY RESIDENTIAL (PDR)
lower density | single family residential
- MEDIUM DENSITY RESIDENTIAL (PDR)
medium density | multi family | senior living
- PARKS
coyote creek park | neighborhood parks
- RECREATION AND OPEN SPACE
coyote creek linear park | general open space
- APPROXIMATE CENTER LINE OF CREEK
- EXISTING TREES TO BE RETAINED
- NEIGHBORHOOD MONUMENT
- VILLAGE MONUMENT
- PEDESTRIAN/BIKE PATH



SCALE; 1" = 200'

DESIGN
INFO
VALLEY
OAKS
HIDDEN VALLEY, CA

COMMERCIAL DEVELOPER

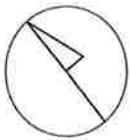
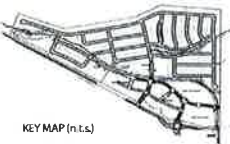
Kimco Development Inc. Ken Porter P.O. Box 7129 Santa Rosa CA 95407 (T)707-588-9766 (F)588-9761

ARCHITECT

David Colombo Architect Dave Colombo 804 College Avenue Santa Rosa CA 95404 (T)707-568-0108 (F)526-1495

CIVIL ENGINEER

Ruzicka Associates Clifford Ruzicka PO Box 1189 2495 Parallel Drive, Lakeport, Ca. 95453 (T) 707-263-6155 (F) 707-263-0768



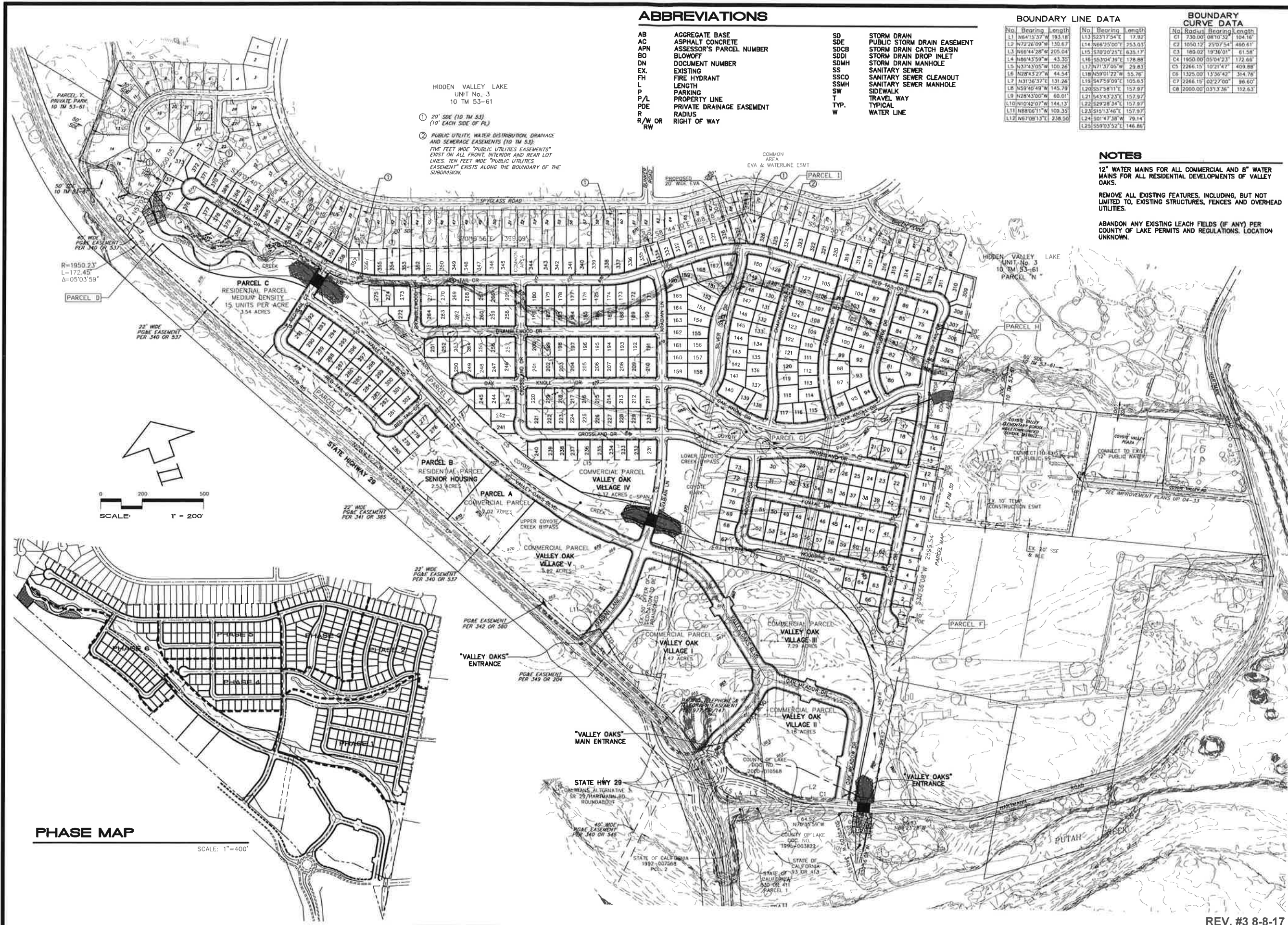
SCALE
1" = 200'-0"
DATE
MAY 31, 2017

VESTING TENTATIVE SUBDIVISION MAP
AND SPECIFIC PLAN OF DEVELOPMENT

SHEET TITLE
OVERALL SITE PLAN AND
PROJECT FEATURES
SHEET NO

2

REV. #3 8-8-17



ABBREVIATIONS

AB	AGGREGATE BASE	SD	STORM DRAIN
AC	ASPHALT CONCRETE	SDE	PUBLIC STORM DRAIN EASEMENT
APN	ASSessor's PARCEL NUMBER	SDCB	STORM DRAIN CATCH BASIN
BO	BLOWOFF	SDDI	STORM DRAIN DROP INLET
DN	DOCUMENT NUMBER	SDMH	STORM DRAIN MANHOLE
EX	EXISTING	SS	SANITARY SEWER
FI	FIRE HYDRANT	SSCO	SANITARY SEWER CLEANOUT
L	LENGTH	SSMH	SANITARY SEWER MANHOLE
P	PARKING	SW	SIDEWALK
P/L	PROPERTY LINE	T	TRAVEL WAY
PDE	PRIVATE DRAINAGE EASEMENT	TYP.	TYPICAL
R	RADIUS	W	WATER LINE
R/W OR RW	RIGHT OF WAY		

BOUNDARY LINE DATA

No.	Bearing	Length
L1	N64°13'37"W	183.16
L2	N72°26'09"W	130.67
L3	N66°44'28"W	205.04
L4	N66°43'59"W	43.35
L5	N37°43'05"W	100.26
L6	N28°43'27"E	44.54
L7	N31°36'37"E	131.26
L8	N59°40'49"W	145.79
L9	N28°43'00"W	60.01
L10	N10°42'07"W	144.13
L11	N88°06'11"W	109.35
L12	N57°08'13"E	238.56

BOUNDARY CURVE DATA

No.	Radius	Bearing	Length
C1	230.00	08°10'52"E	104.16
C2	1050.12	29°07'54"E	253.03
C3	180.02	19°36'01"E	61.58
C4	1950.00	05°04'23"E	172.66
C5	2266.15	10°21'47"E	409.88
C6	1325.00	13°36'42"E	314.78
C7	2266.15	02°27'00"E	96.60
C8	2000.00	03°13'36"E	112.63

NOTES

- 12" WATER MAINS FOR ALL COMMERCIAL AND 8" WATER MAINS FOR ALL RESIDENTIAL DEVELOPMENTS OF VALLEY OAKS.
- REMOVE ALL EXISTING FEATURES, INCLUDING, BUT NOT LIMITED TO, EXISTING STRUCTURES, FENCES AND OVERHEAD UTILITIES.
- ABANDON ANY EXISTING LEACH FIELDS (IF ANY) PER COUNTY OF LAKE PERMITS AND REGULATIONS. LOCATION UNKNOWN.

PHASE MAP

SCALE: 1"=400'

RUZICKA ASSOCIATES

CVL DESIGN CONSULTANTS, INC.
2200 Range Avenue, Suite 204
Santa Rosa, CA 95403
(707) 542-4820

VESTING TENTATIVE MAP AND SPECIFIC PLAN OF DEVELOPMENT
SITE PLAN AND ABBREVIATIONS
VALLEY OAKS SUBDIVISION
18196 AND 18426 SOUTH STATE HWY 29
MIDDLETOWN, CALIFORNIA
60.34 ACRES

REVISION 43
AUGUST 8, 2017




JOB NO.
17-8313

SHEET NO.
4

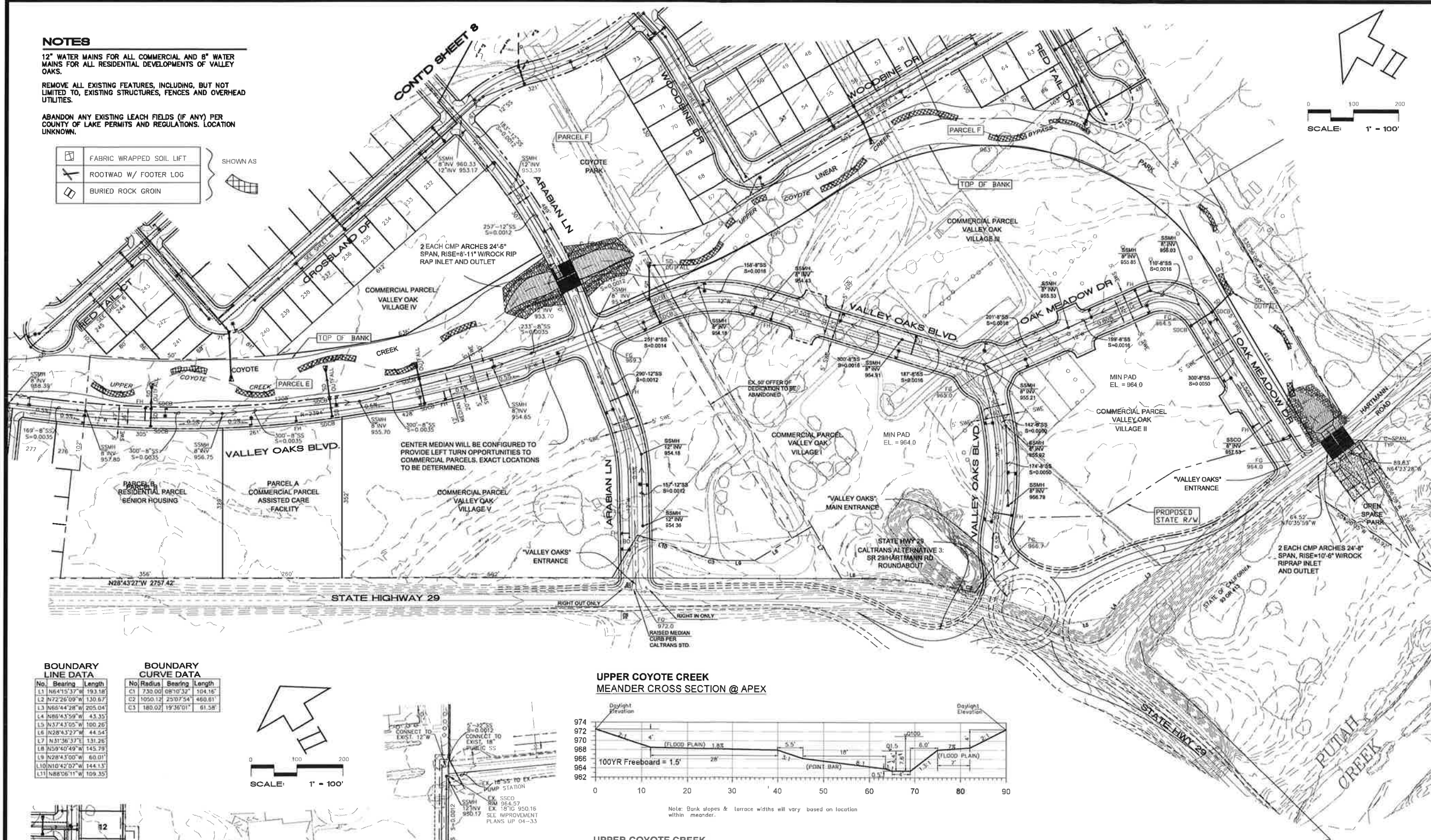
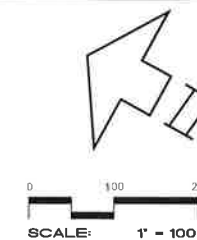
OF 9 SHEETS

12" WATER MAINS FOR ALL COMMERCIAL AND 8" WATER MAINS FOR ALL RESIDENTIAL DEVELOPMENTS OF VALLEY OAKS.

ABANDON ANY EXISTING LEACH FIELDS (IF ANY) PER
COUNTY OF LAKE PERMITS AND REGULATIONS. LOCATION
UNKNOWN.

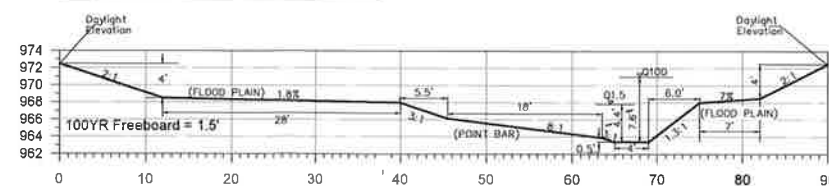
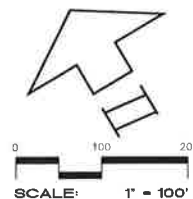
	FABRIC WRAPPED SOIL LIFT
	ROOTWAD W/ FOOTER LOG
	BURIED ROCK GROIN

SHOWN AS



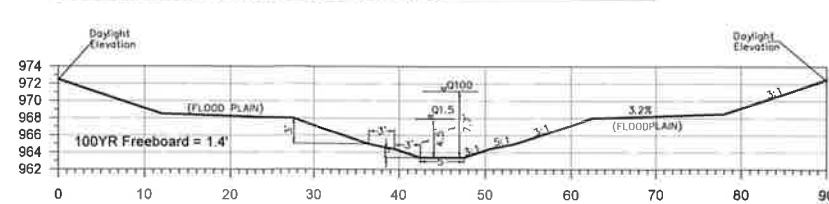
No.	Bearing	Length
L1	N64°15'37"W	193.1
L2	N72°26'09"W	130.6
L3	N65°44'28"W	205.0
L4	N88°43'59"W	43.3
L5	N37°43'05"W	100.2
L6	N28°45'27"W	44.5
L7	N31°36'37"E	131.2
L8	N59°40'49"W	145.7
L9	N28°43'00"W	60.0
L10	N10°42'07"W	144.1
L11	N88°06'11"W	109.3

No	Radius	Bearing	Length
C1	730.00	08°10'32"	1
C2	1050.12	25°07'54"	4
C3	180.02	19°36'01"	



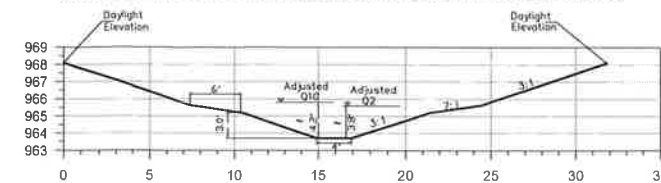
Note: Bank slopes & terrace widths will vary based on location within meander.

UPPER COYOTE CREEK
STRAIGHT CROSS SECTION W/ THALWEG @ CENTER OF CORRIDOR



NOTE: FLOODPLAIN WIDTHS & SLOPES WILL VARY BASED ON FINAL ALIGNMENT

LOWER COYOTE CREEK
STRAIGHT CROSS SECTION W/ THALWEG @ CENTER OF CORRIDOR



NOTE: ADJUSTED Q EQUALS THE FLOW RATE CALCULATED FOR THE PROPOSED DEVELOPMENT AREA DRAINING TO LOWER COYOTE CREEK AT A DESIGNATED POINT OF CONCENTRATION PLUS 10 CFS FROM THE EXISTING DEVELOPMENT TO THE NORTH OF THE PROJECT AREA.

OFF-SITE SANITARY SEWER AND WATER MAIN



CIVIL DESIGN CONSULTANTS, INC.

2200 Range Avenue, Suite 204
Santa Rosa, CA 95403
(707) 542-4820

VESTING TENTATIVE MAP AND SPECIFIC PLAN OF DEVELOPMENT
GRADING, DRAINAGE AND UTILITY PLAN - COMMERCIAL PORTION

VALLEY OAKS SUBDIVISION
18196 AND 18426 SOUTH STATE HWY 29

18426 SOUTH STATE HWY 29
DILETOWN, CALIFORNIA
APN 014-260-036, 051
DN 2006-025167

18426 SOUTH STATE
PLETOWN, CALIFOR

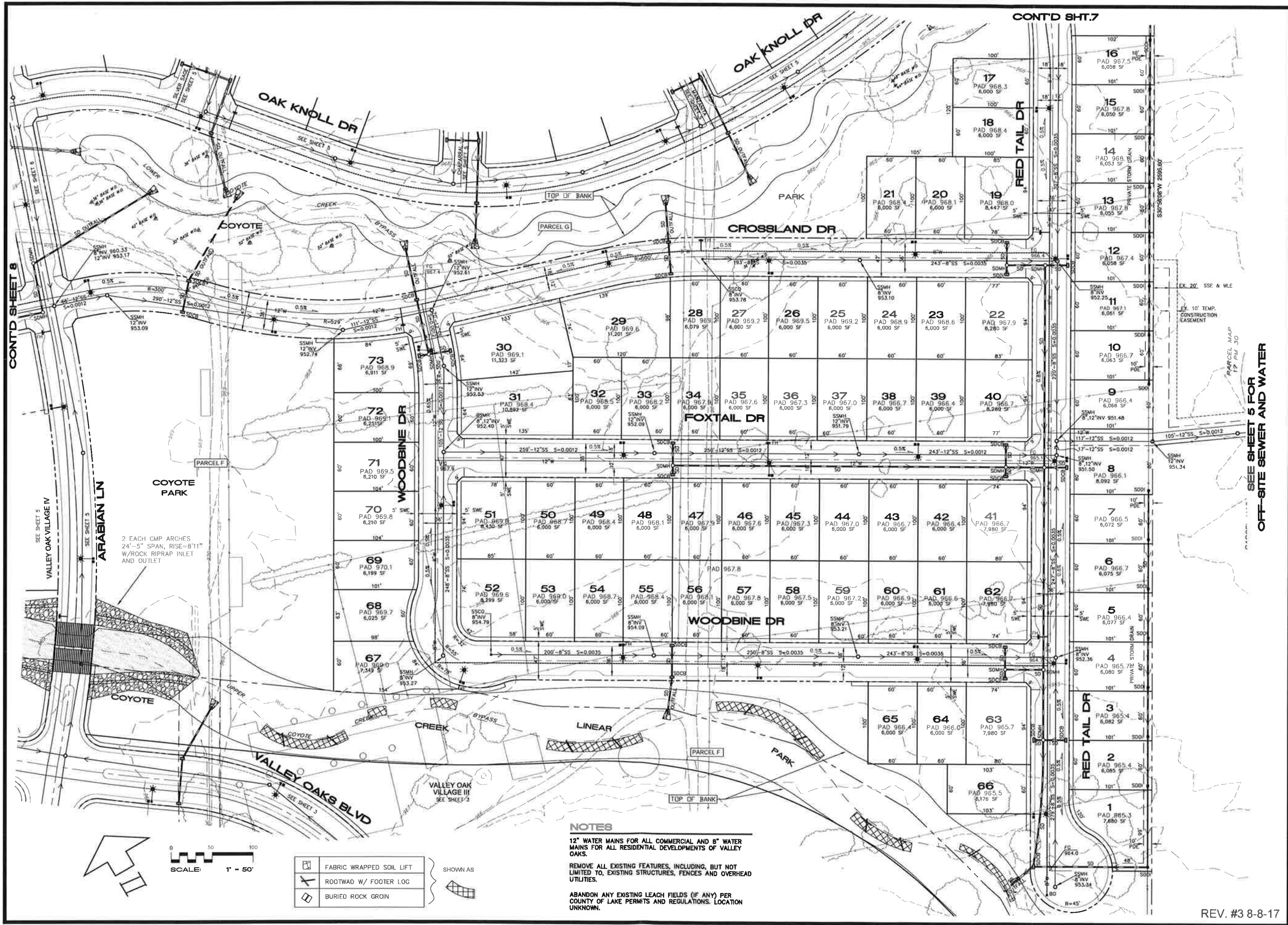
JOB NO. 17-8313

SHEET NO.

5

OF 9 SHEETS

REV. #3 8-8-17



NOTES

- 12" WATER MAINS FOR ALL COMMERCIAL AND 8" WATER MAINS FOR ALL RESIDENTIAL DEVELOPMENTS OF VALLEY OAKS.
- REMOVE ALL EXISTING FEATURES, INCLUDING, BUT NOT LIMITED TO, EXISTING STRUCTURES, FENCES AND OVERHEAD UTILITIES.
- ABANDON ANY EXISTING LEACH FIELDS (IF ANY) PER COUNTY OF LAKE PERMITS AND REGULATIONS. LOCATION UNKNOWN.

	FABRIC WRAPPED SOIL LIFT
	ROOTWAD W/ FOOTER LOG
	BURIED ROCK GROIN



RUZICKA ASSOCIATES

CIVIL DESIGN CONSULTANTS, INC.

2200 Range Avenue, Suite 204
Santa Rosa, CA 95403
(707) 542-4820

VESTING TENTATIVE MAP AND SPECIFIC PLAN OF DEVELOPMENT
GRADING, DRAINAGE AND UTILITY PLAN - PHASE 1
VALLEY OAKS SUBDIVISION
18196 AND 18426 SOUTH STATE HWY 29
MIDDLETOWN, CALIFORNIA
COUNTY OF LAKE
150.34 ACRES

JOB NO.
17-6313

SHEET NO.
6

OF 9 SHEETS

REV. #3 8-8-17

NOTES

12" WATER MAINS FOR ALL COMMERCIAL AND 8" WATER MAINS FOR ALL RESIDENTIAL DEVELOPMENTS OF VALLEY OAKS.

REMOVE ALL EXISTING FEATURES, INCLUDING, BUT NOT LIMITED TO, EXISTING STRUCTURES, FENCES AND OVERHEAD UTILITIES.

ABANDON ANY EXISTING LEACH FIELDS (IF ANY) PER COUNTY OF LAKE PERMITS AND REGULATIONS. LOCATION UNKNOWN.

EMERGENCY VEHICLE ACCESS (EVA)



	FABRIC WRAPPED SOIL LIFT
	ROOTWAD W/ FOOTER LOG
	BURIED ROCK GROIN

REV. #3 8-8-17

RUZICKA ASSOCIATES



CVL DESIGN CONSULTANTS, INC.
2200 Range Avenue, Suite 204
Santa Rosa, CA 95403
(707) 542-4820

VESTING TENTATIVE MAP AND SPECIFIC PLAN OF DEVELOPMENT
GRADING, DRAINAGE AND UTILITY PLAN - PHASE 2 AND 3
VALLEY OAKS SUBDIVISION
AND 18426 SOUTH STATE HWY 29
MIDDLETOWN, CALIFORNIA
1896
150.34 ACRES

JOB NO.
17-8313

SHEET NO.

7

OF 8 SHEETS

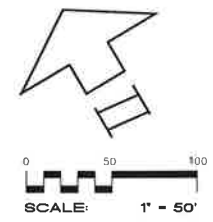


NOTES

12" WATER MAINS FOR ALL COMMERCIAL AND 8" WATER MAINS FOR ALL RESIDENTIAL DEVELOPMENTS OF VALLEY OAKS.

REMOVE ALL EXISTING FEATURES, INCLUDING, BUT NOT LIMITED TO, EXISTING STRUCTURES, FENCES AND OVERHEAD UTILITIES.

ABANDON ANY EXISTING LEACH FIELDS (IF ANY) PER COUNTY OF LAKE PERMITS AND REGULATIONS. LOCATION UNKNOWN.



	FABRIC WRAPPED SOIL LIFT
	ROOTWAD W/ FOOTER LOG
	BURIED ROCK GROIN

SHOWN AS

RUZICKA ASSOCIATES

REGISTERED PROFESSIONAL ENGINEER & ARCHITECT
No. 14861
CIVIL
STATE OF CALIFORNIA

CVL DESIGN CONSULTANTS, INC.

2200 Roca Avenue, Suite 204
Santa Rosa, CA 95403
(707) 542-4820

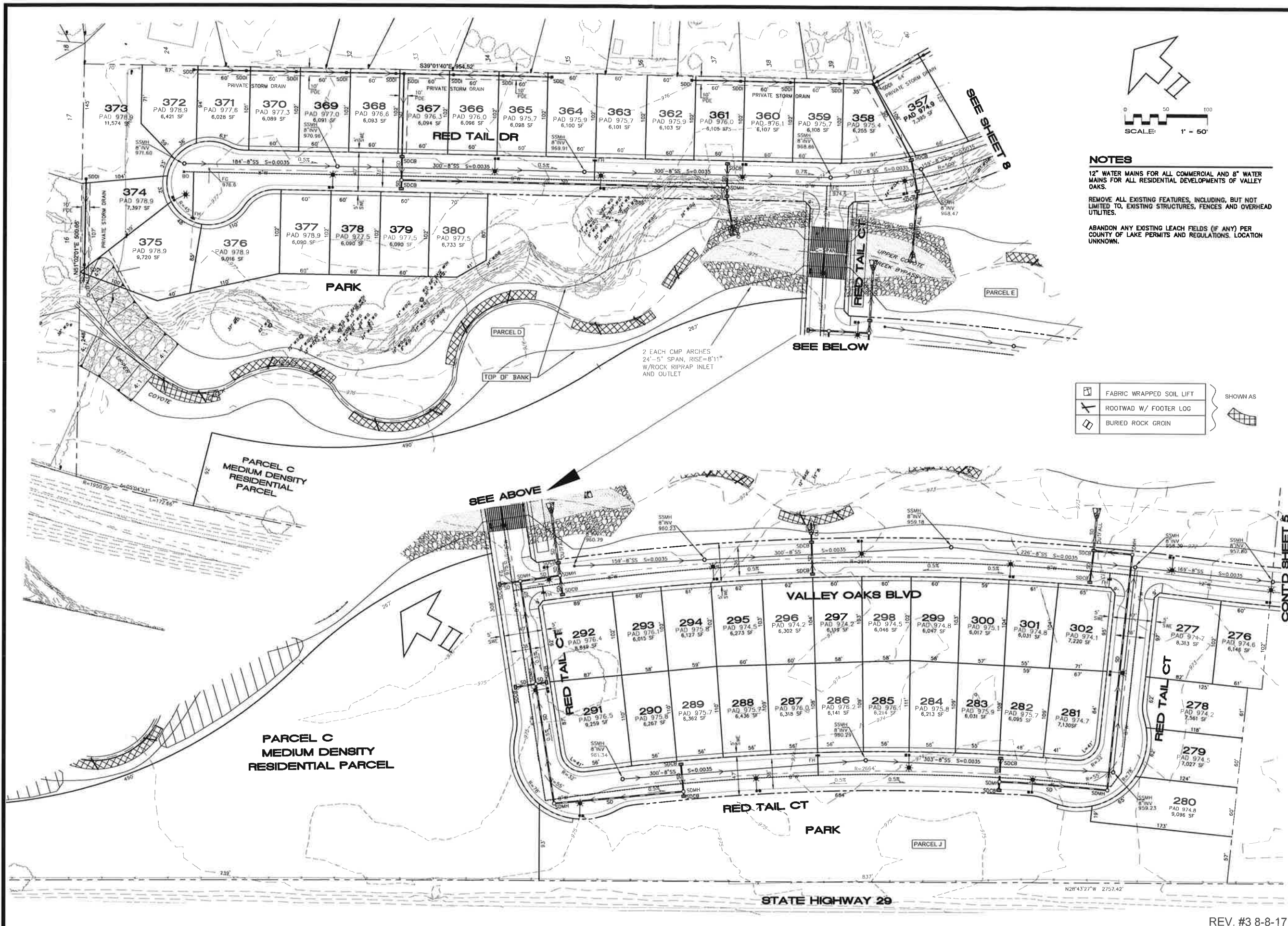
**VESTING TENTATIVE MAP AND SPECIFIC PLAN OF DEVELOPMENT
GRADING, DRAINAGE AND UTILITY PLAN - PHASE 4 AND 5
VALLEY OAKS SUBDIVISION**

18196 AND 18426 SOUTH STATE HWY 29
MIDDLETOWN, CALIFORNIA
COUNTY OF LAKE
150.34 ACRES

REVISION 03
AUGUST 8, 2017

JOB NO.
17-8313

SHEET NO.
8
OF 8 SHEETS



NOTES

12" WATER MAINS FOR ALL COMMERCIAL AND 8" WATER MAINS FOR ALL RESIDENTIAL DEVELOPMENTS OF VALLEY OAKS.

REMOVE ALL EXISTING FEATURES, INCLUDING, BUT NOT LIMITED TO, EXISTING STRUCTURES, FENCES AND OVERHEAD UTILITIES.

ABANDON ANY EXISTING LEACH FIELDS (IF ANY) PER COUNTY OF LAKE PERMITS AND REGULATIONS. LOCATION UNKNOWN.

	FABRIC WRAPPED SOIL LIFT	SHOWN AS
	ROOTWAD W/ FOOTER LOG	
	BURIED ROCK GROIN	

RUZICKA ASSOCIATES
CONSULTING ENGINEERS
10000 N. 10TH AVE., SUITE 100
DENVER, CO 80231
TEL: 303.733.1100
FAX: 303.733.1101

CIVIL DESIGN CONSULTANTS, INC.
2200 Range Avenue, Suite 204
Southwest, CO 80037
(707) 542-4820

VALLEY OAKS SUBDIVISION
18196 AND 18426 SOUTH STATE HWY 29
MIDDLETOWN, CALIFORNIA
COUNTY OF LAKE
REVISION 15
180.34 ACRES

APN 014-260-036, 081
DN 2008-02887
DN 2008-02872

VESTING TENTATIVE MAP AND SPECIFIC PLAN OF DEVELOPMENT
GRADING, DRAINAGE AND UTILITY PLAN - PHASE 6
VALLEY OAKS SUBDIVISION

JOB NO. 17-5313
SHEET NO. 9
OF 9 SHEETS